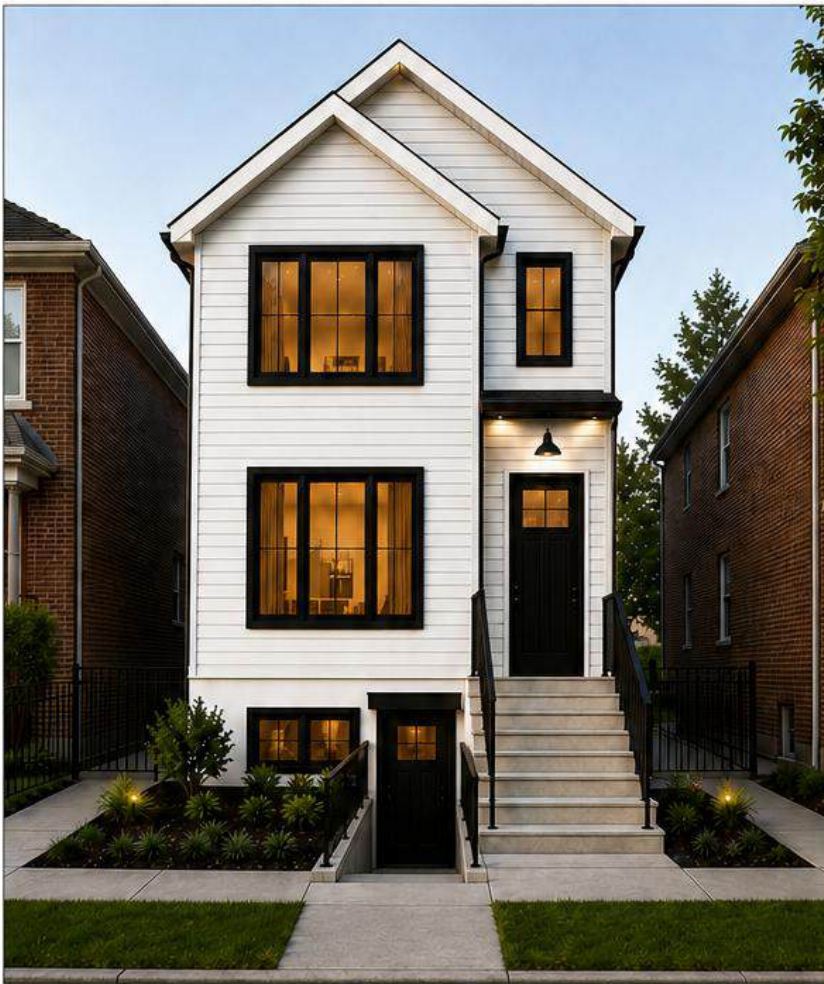




6407 S. RHODES AVENUE

CHICAGO, ILLINOIS

CONTEMPORARY NEW CONSTRUCTION RESIDENCE



Two Units



3 BR, 2.5 Bath Unit



2 BR, 1 Bath Unit in Basement



Contemporary Design
with High End Finishes



HardieBoard Exterior



Open Floorplan

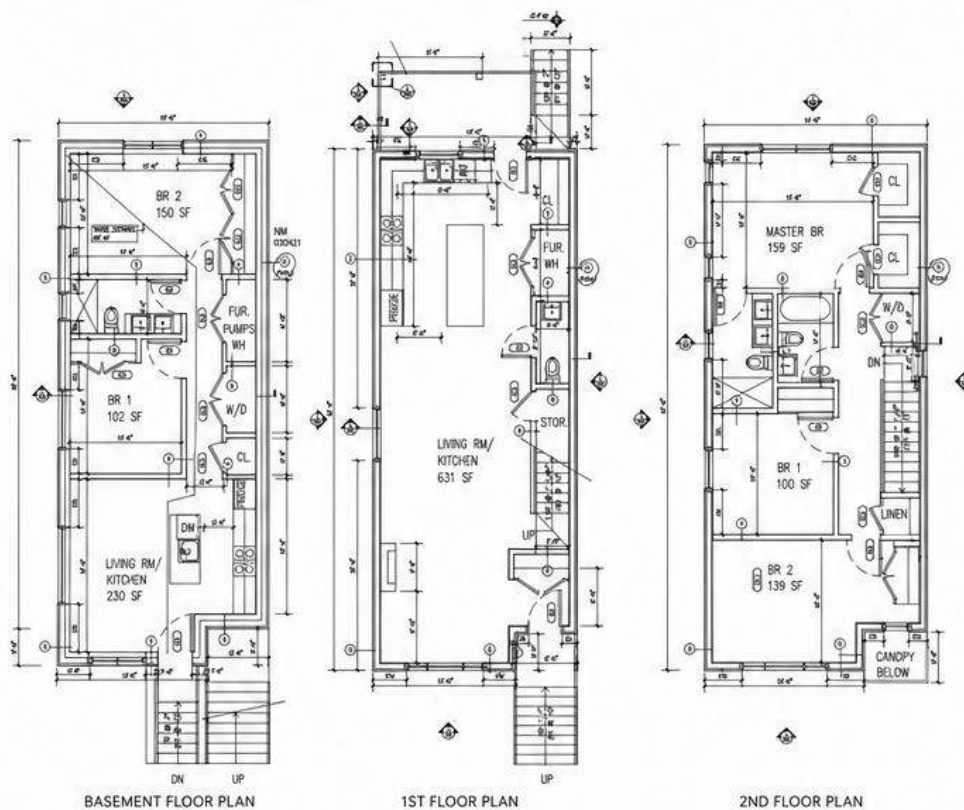


Outdoor Space



2 Car Garage

APPROX. 1,600 SF TWO STORY UNIT
APPROX. 800 SF BASEMENT APARTMENT



FLOOR PLANS

BASEMENT FLOOR PLAN
2 BR, 1 BATH UNIT

1ST FLOOR PLAN
OPEN CONCEPT LIVING

2ND FLOOR PLAN
3 BR, 2.5 BATH UNIT

NEW CLASS B ASPHALT SHINGLES INSTALLED TO MANUFACTURER'S SPECIFICATIONS OVER BUILDING PAPER ON 3/4" EXTERIOR GRADE PLYWOOD ON NEW 2X10 ROOF RAFTERS @ 16" O.C. . PROVIDE ICE AND WATER SHIELD @ EAVE

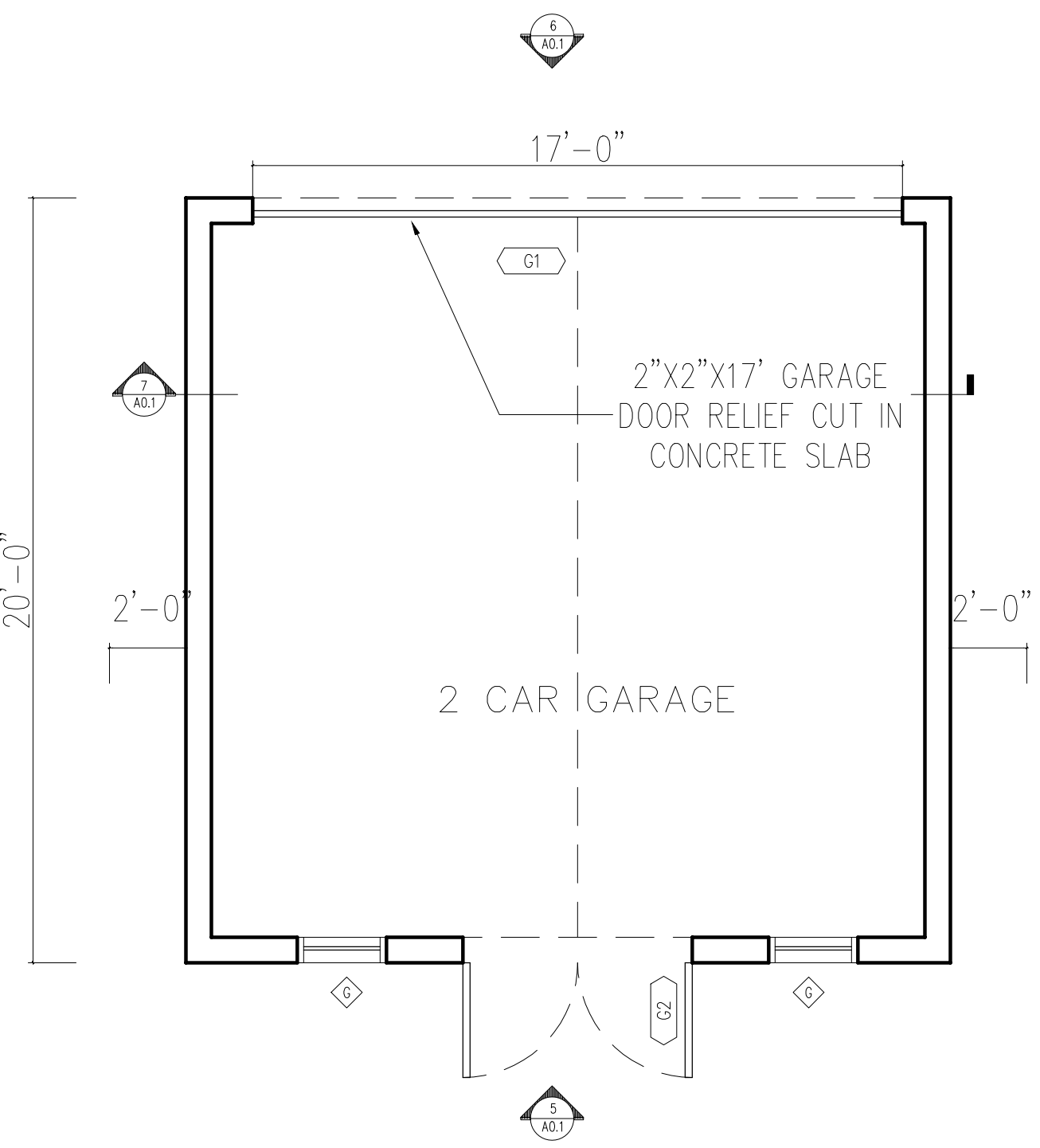
ELECTRIC OVERHEAD DOOR OPERATOR

FIBER CEMENT SIDING OVER CONTINUOUS BUILDING PAPER OVER 5/8" GYP. BD. TYPE "X" OVER 2 X 6 FRAMING 16" O.C.

6" CONCRETE SLAB

#6 @ 1'-0" O.C.

10" FORMED CONCRETE WALL ALL AROUND (2) #5 @ CONT. 12X8 GARAGE DOOR FLOOD RELIEF



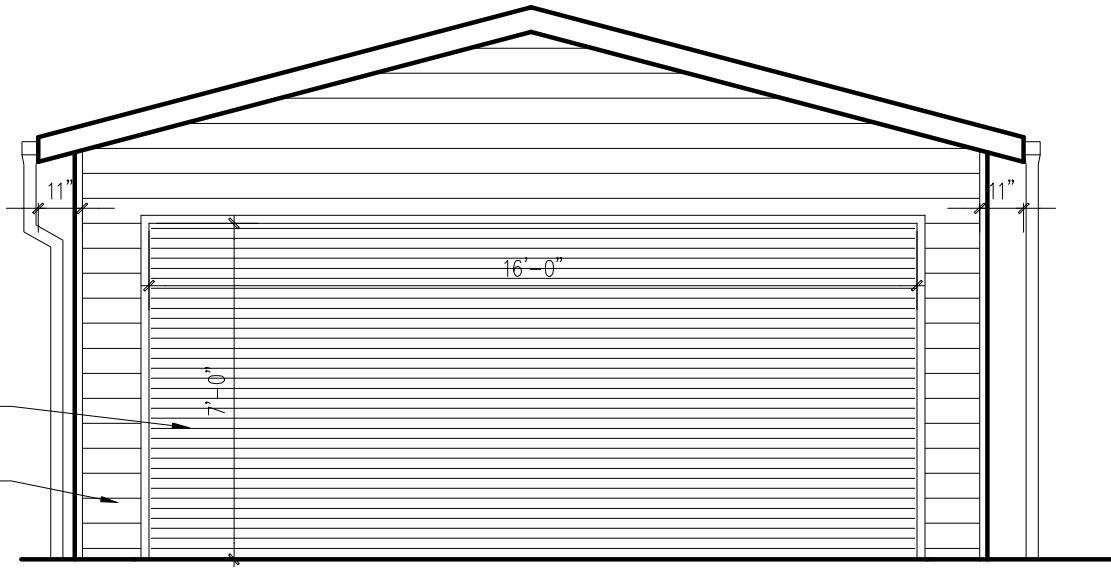
7 GARAGE FLOOR PLAN

SC 1/4" = 1'-0"



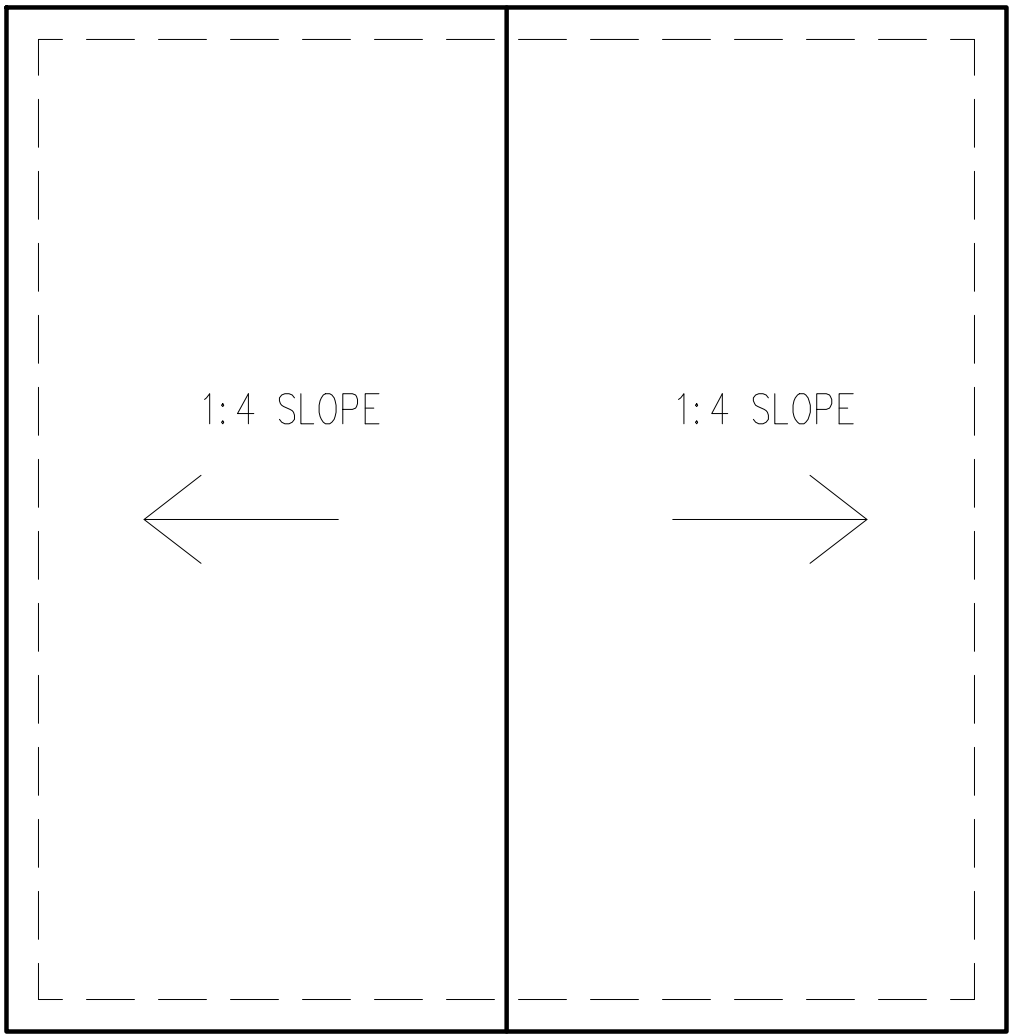
6 ELEVATION

SC 1/4" = 1'-0"



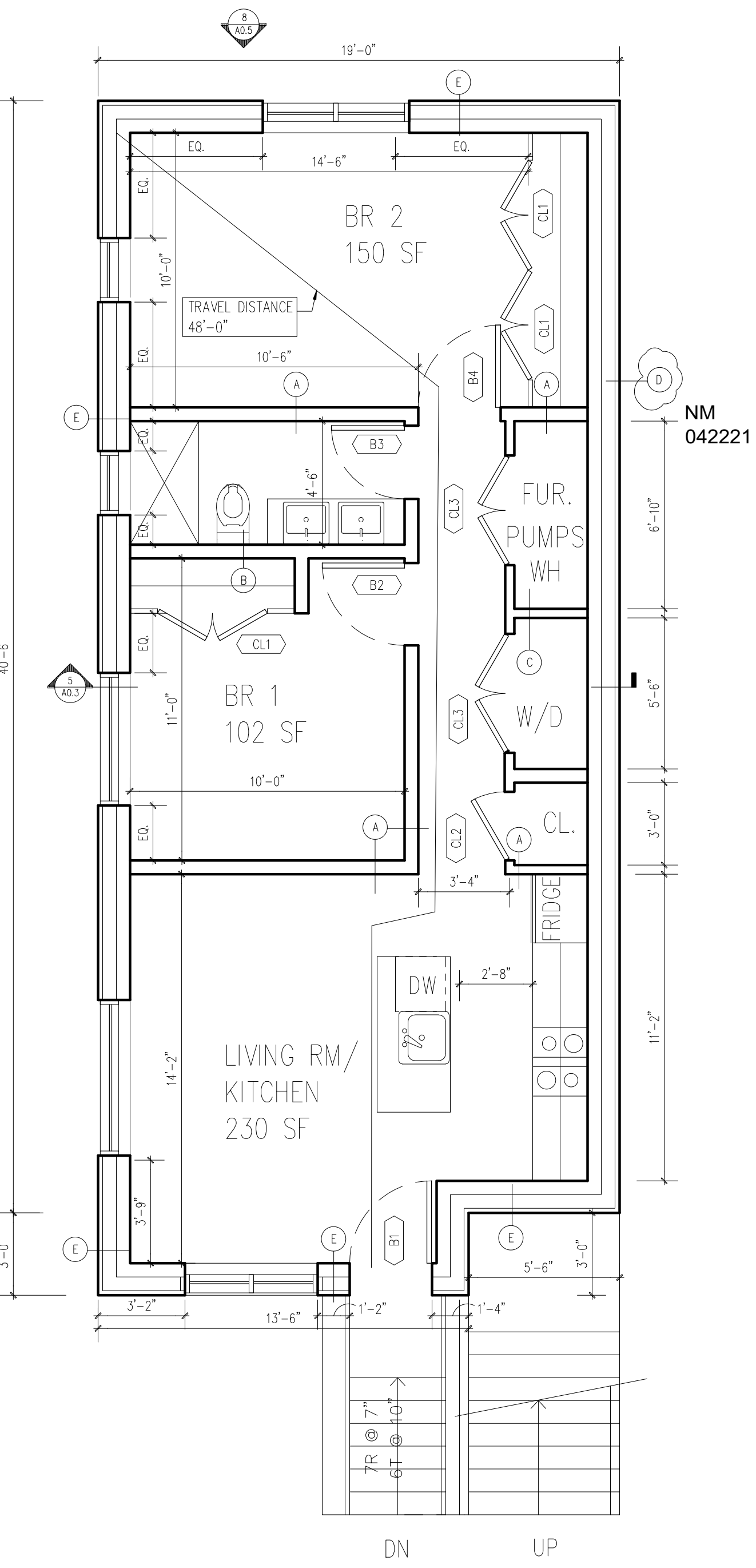
5 ELEVATION

SC 1/4" = 1'-0"



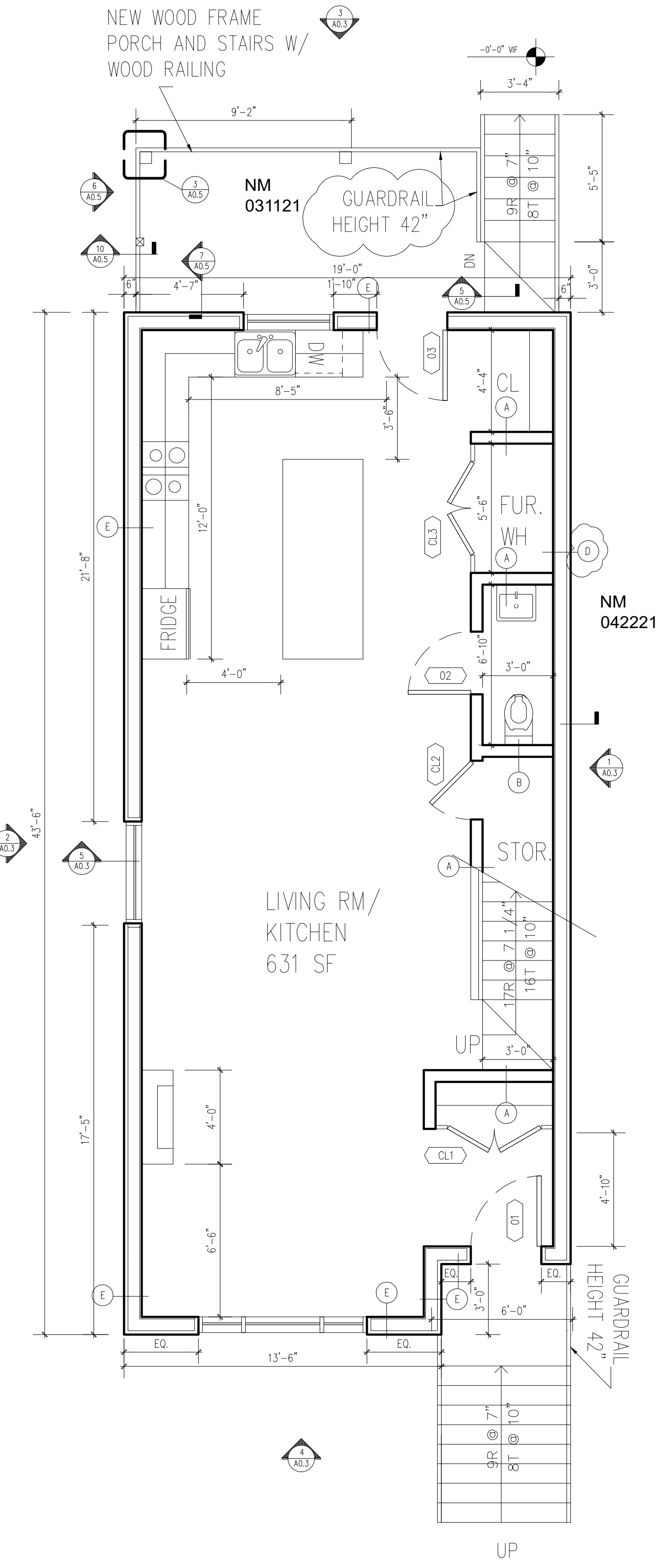
8 GARAGE ROOF PLAN

SC 1/4" = 1'-0"



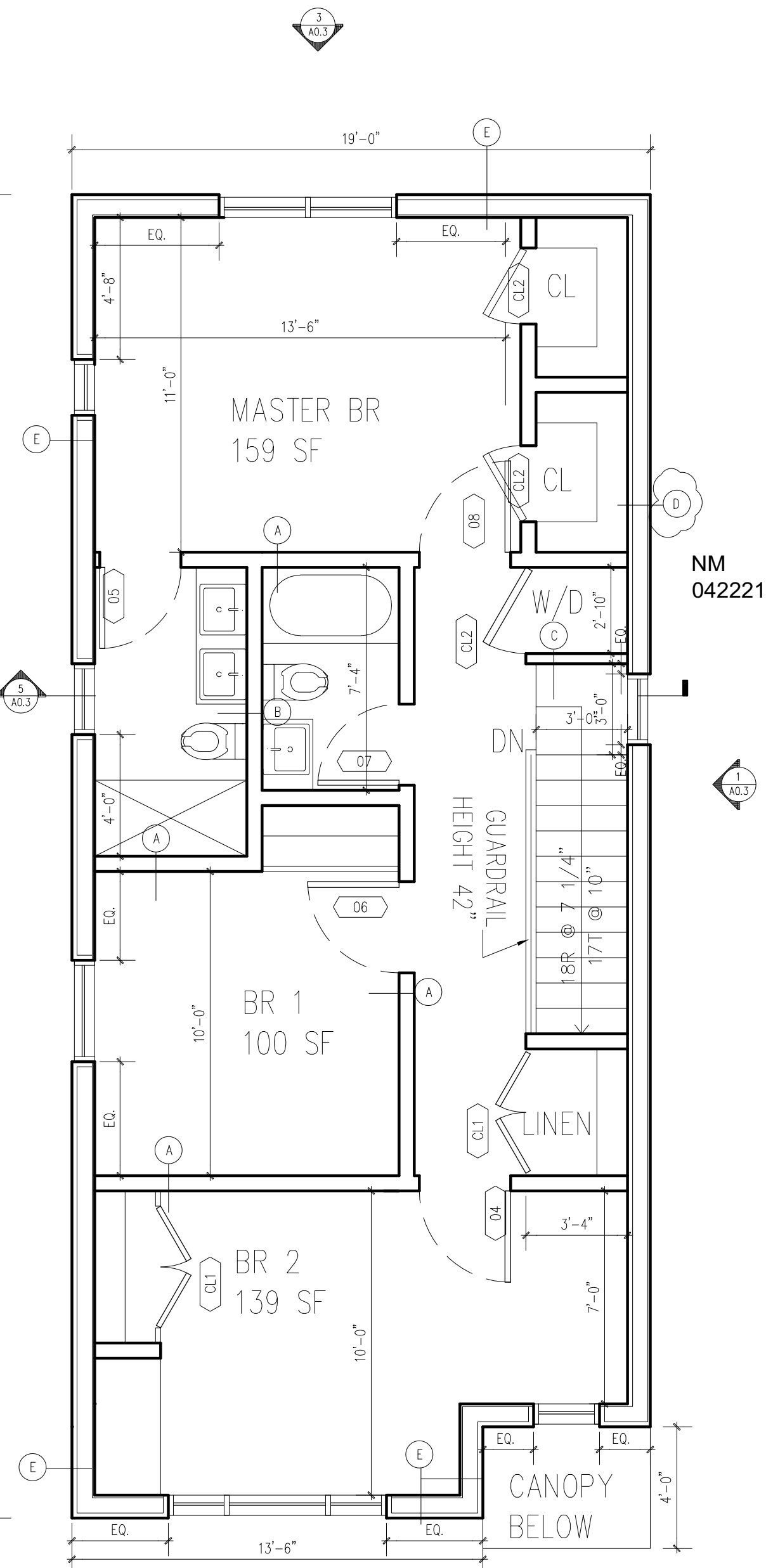
4 BASEMENT PLAN

SC 1/4" = 1'-0"



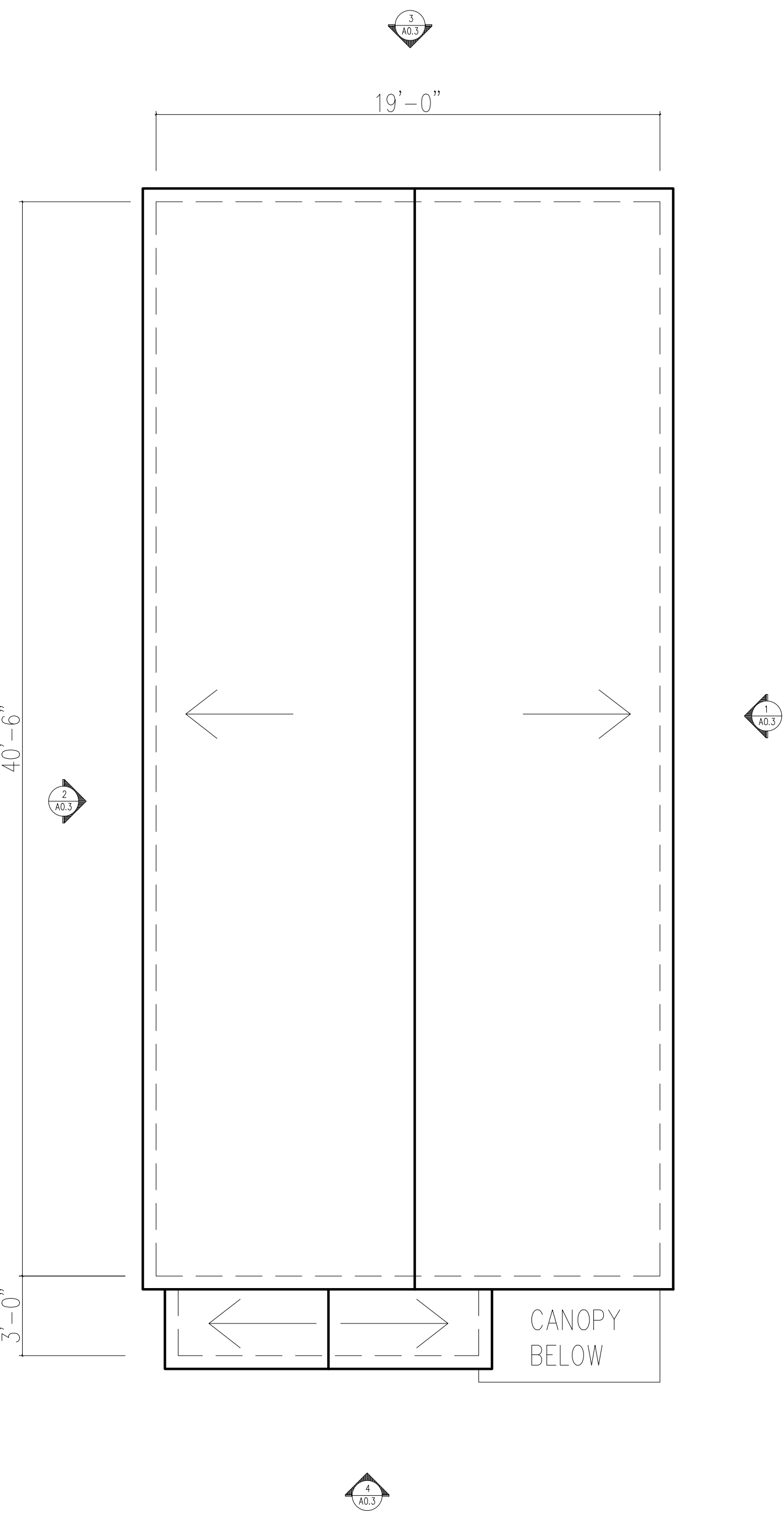
3 1ST FLOOR PLAN

SC 1/4" = 1'-0"



2 2ND FLOOR PLAN

SC 1/4" = 1'-0"



1 ROOF PLAN

SC 1/4" = 1'-0"



RT-4 - Erecting a new 2 story 2 dwelling unit building with basement, rear deck and a detached 2 car garage. 06/08/21

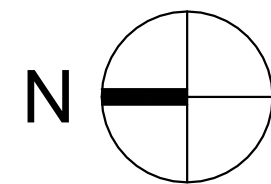
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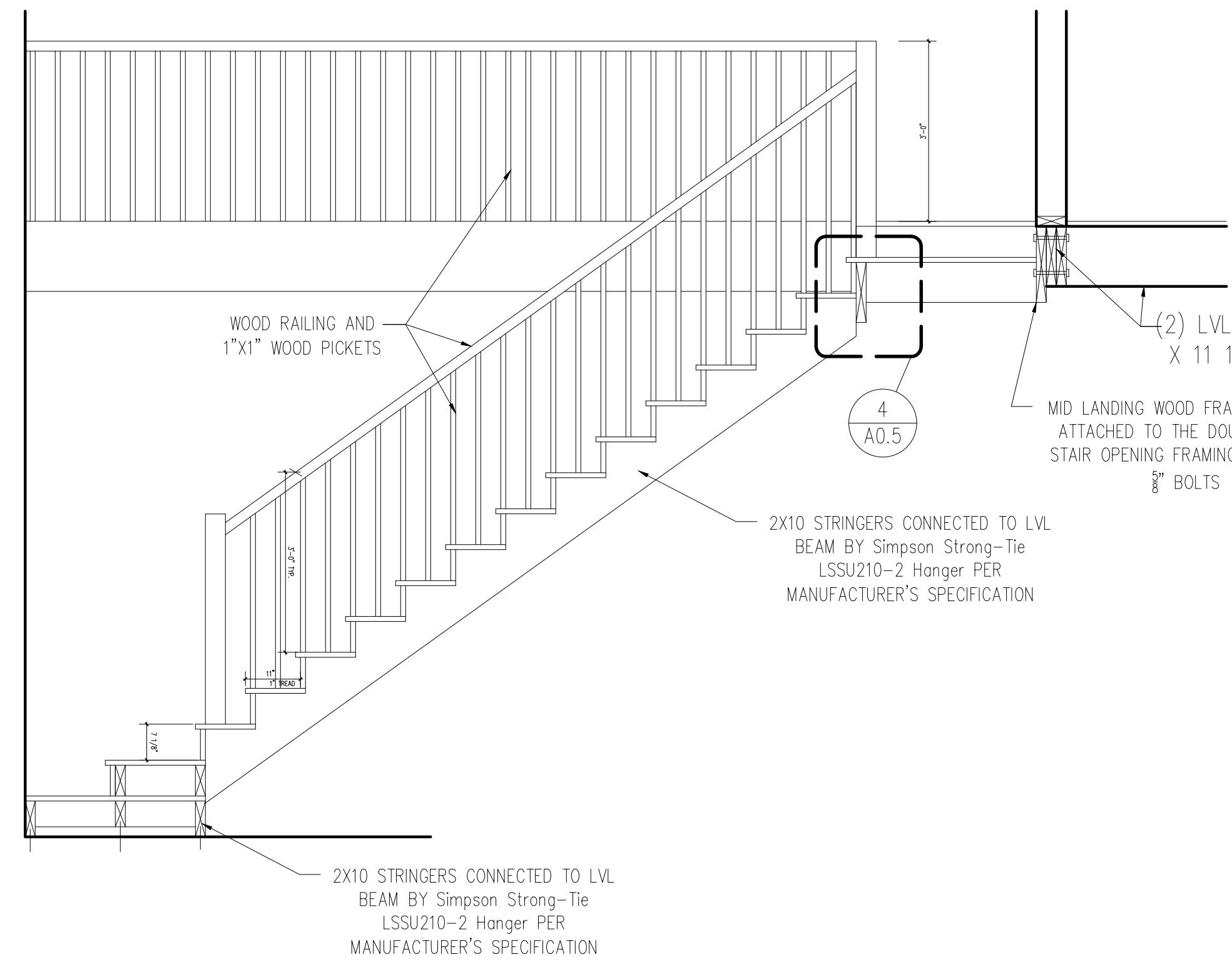
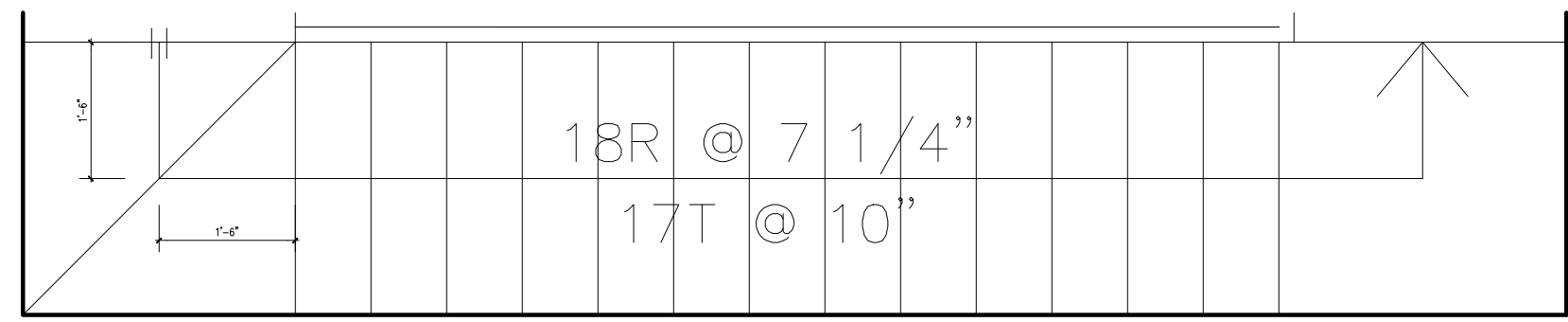


1	ISSUED FOR PERMIT	02.21.2021
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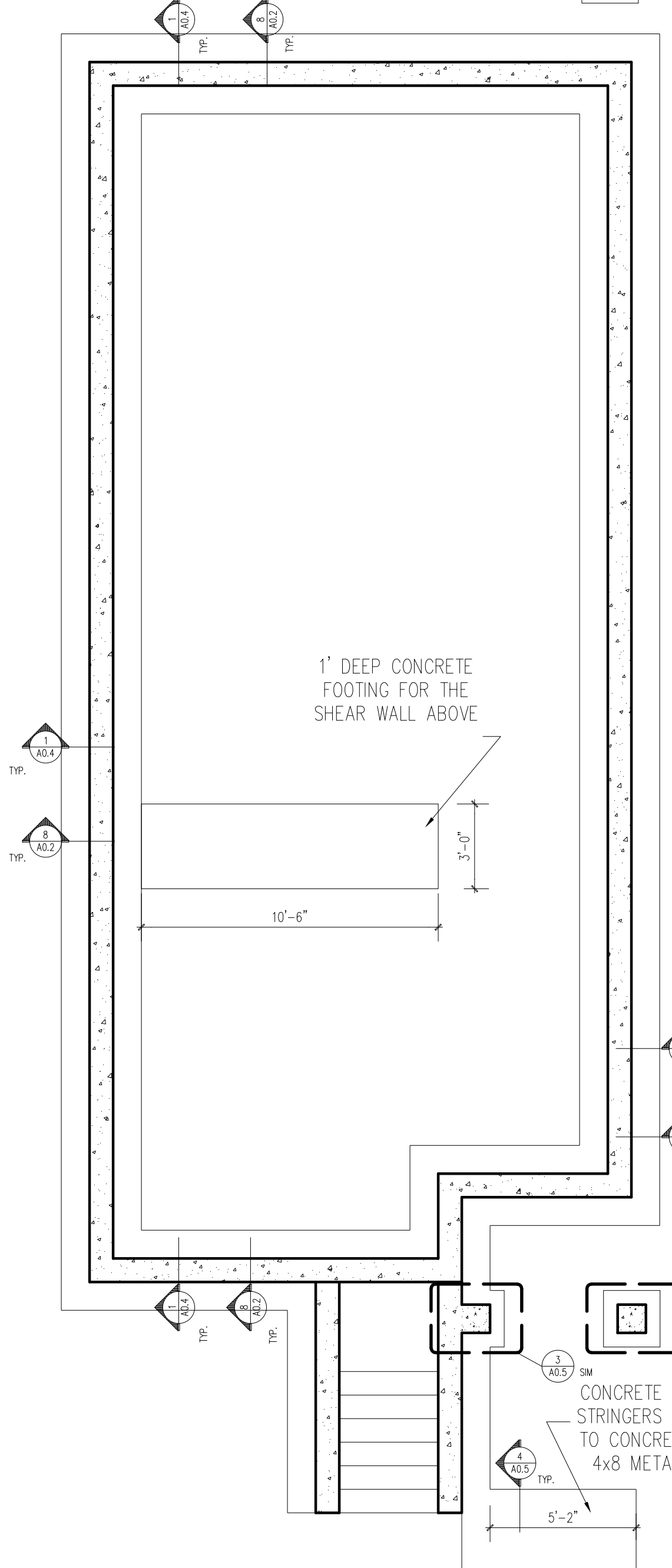
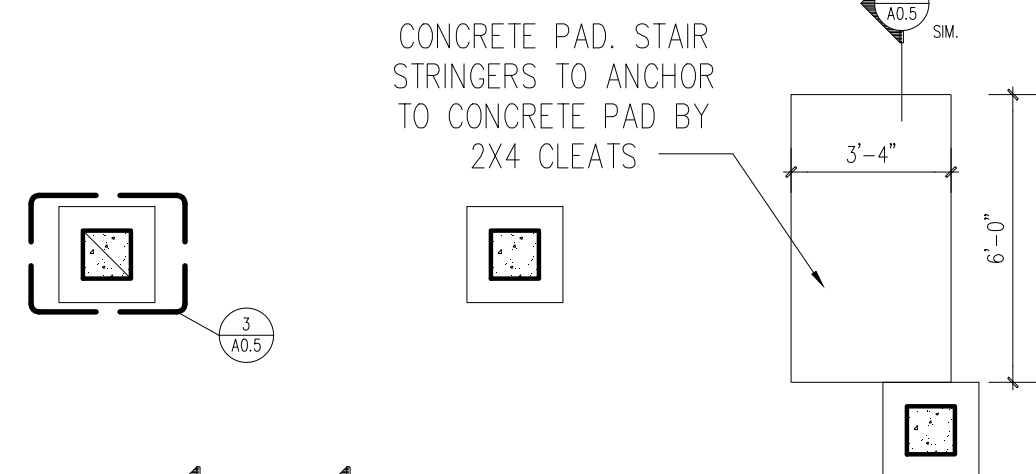
ARCHITECTURAL PLANS

A0.1



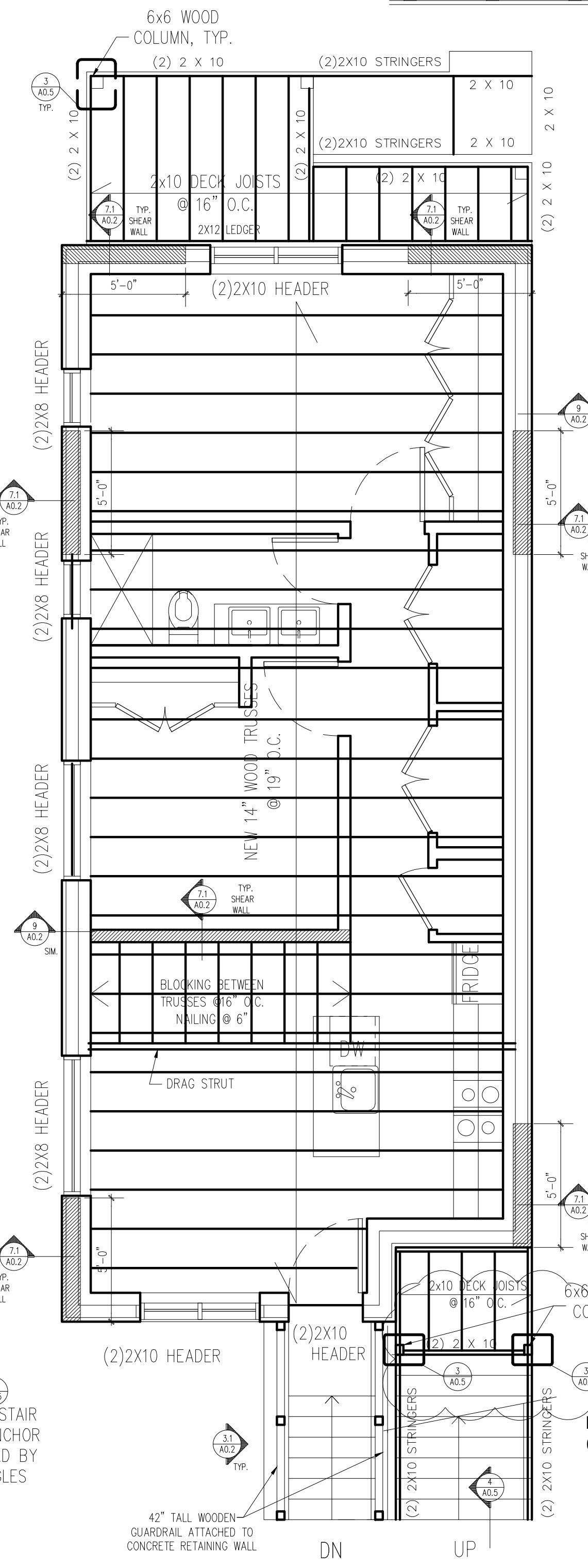
10 INTERIOR STAIRS PLAN AND SECTION

SC 1/4" = 1'-0"



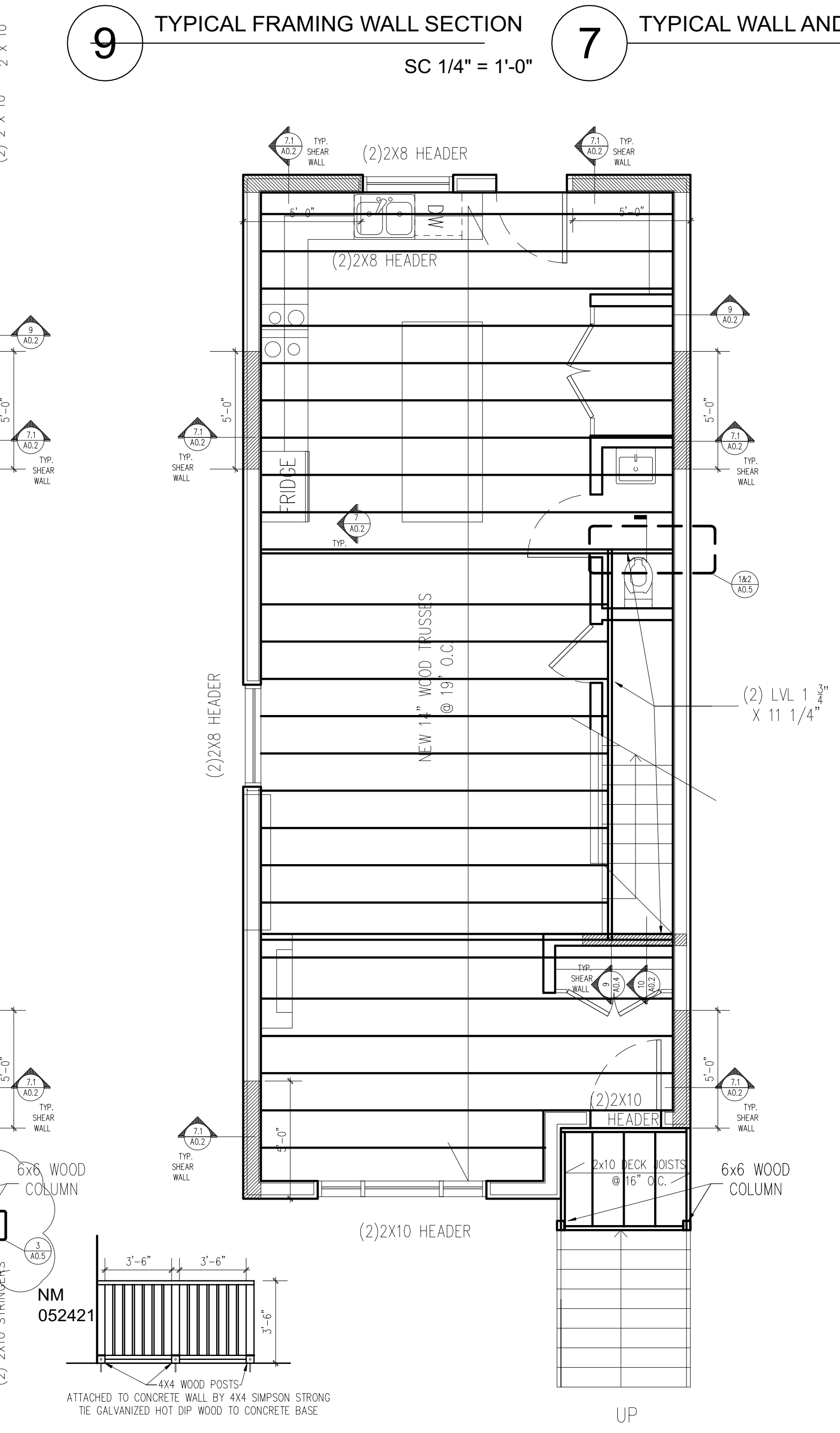
5 FOUNDATION PLAN

SC 1/4" = 1'-0"



4 BASEMENT PLAN

SC 1/4" = 1'-0"



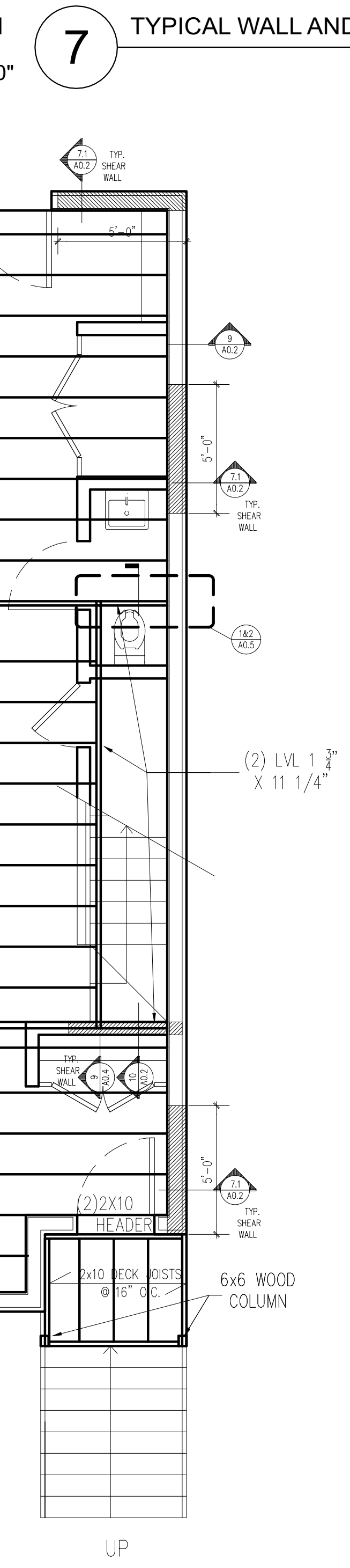
3 1ST FLOOR PLAN

SC 1/4" = 1'-0"



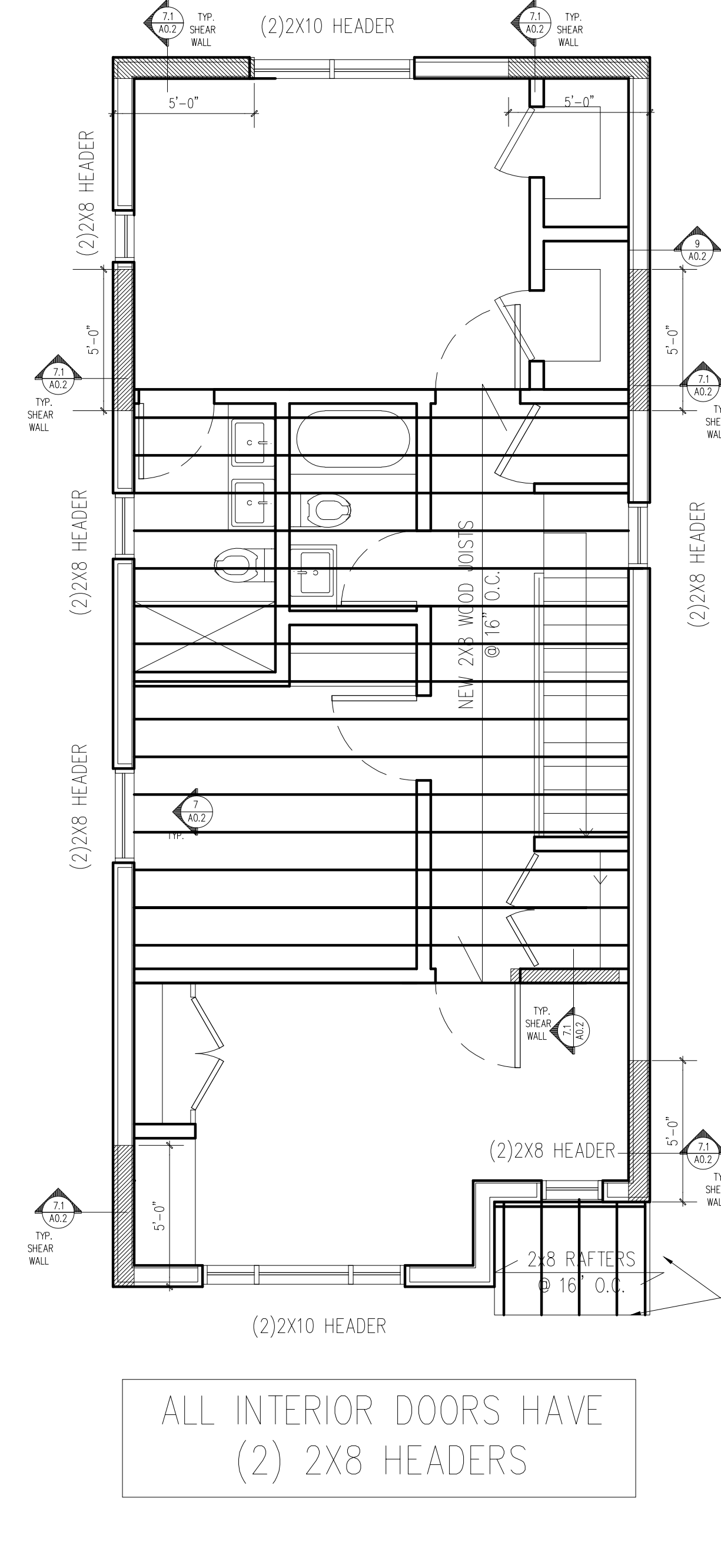
3.1 GUARDRAIL ELEVATION

SC 1/4" = 1'-0"



7 TYPICAL WALL AND WINDOW FRAMING

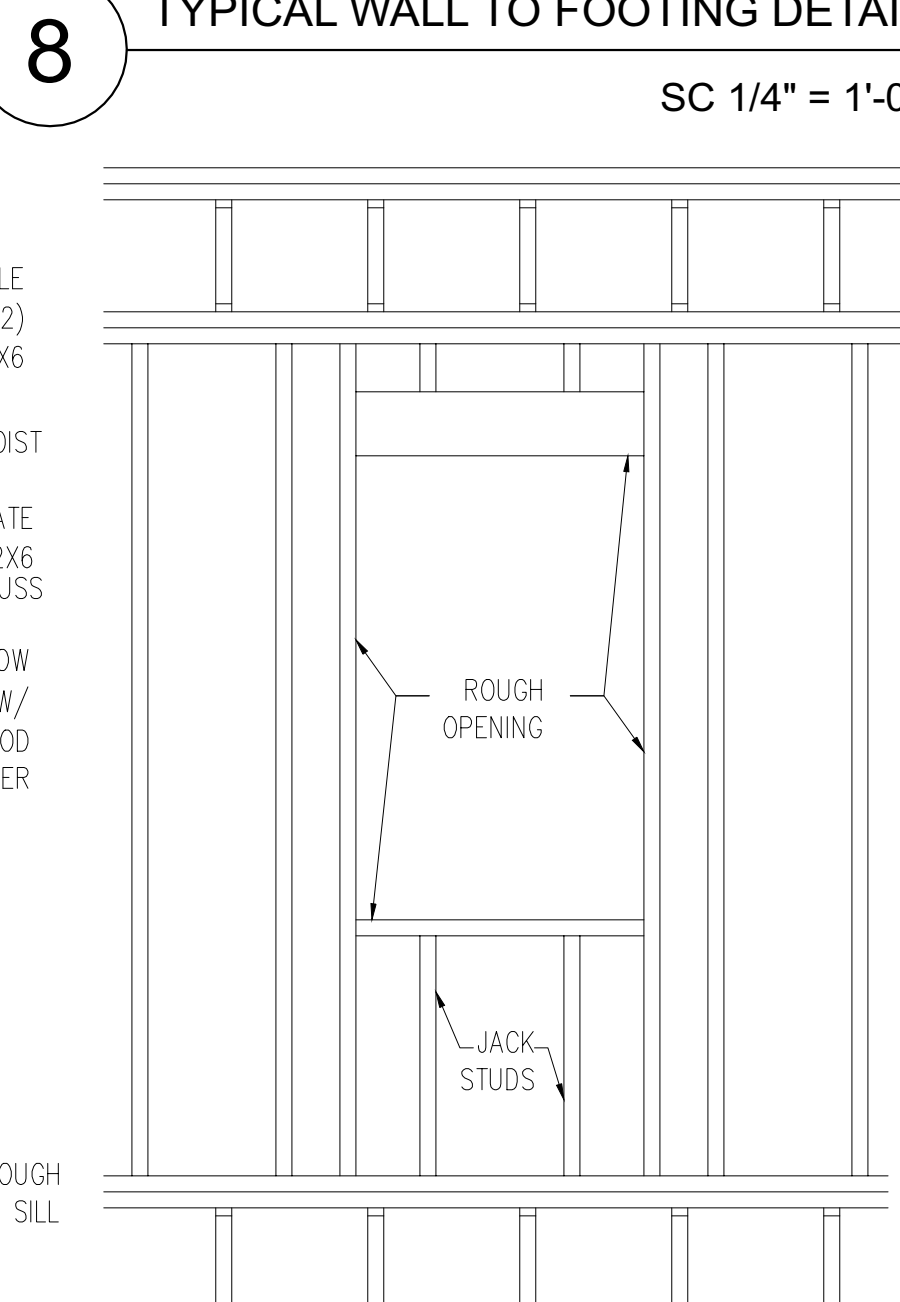
SC 1/4" = 1'-0"



2 2ND FLOOR PLAN

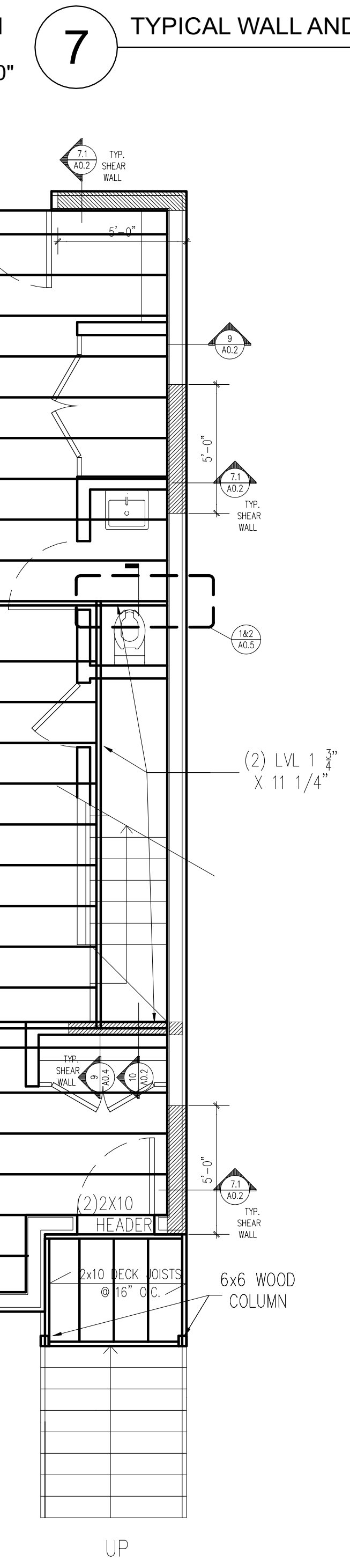
SC 1/4" = 1'-0"

ALL INTERIOR DOORS HAVE (2) 2X8 HEADERS



8 TYPICAL WALL TO FOOTING DETAIL

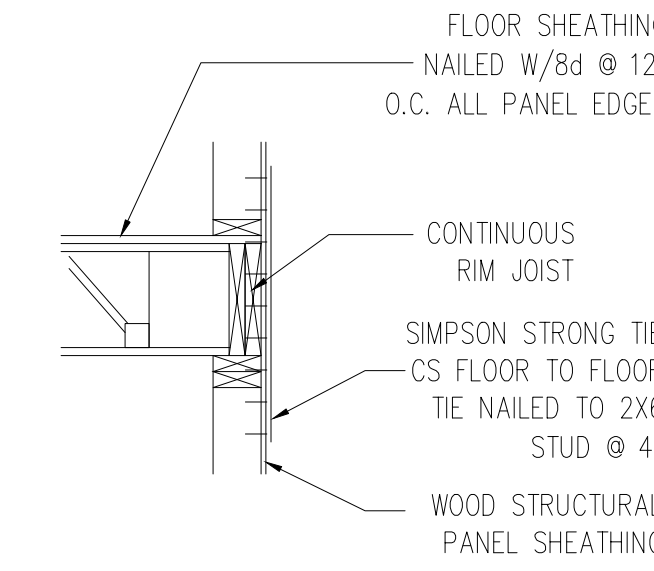
SC 1/4" = 1'-0"



9 TYPICAL FRAMING WALL SECTION

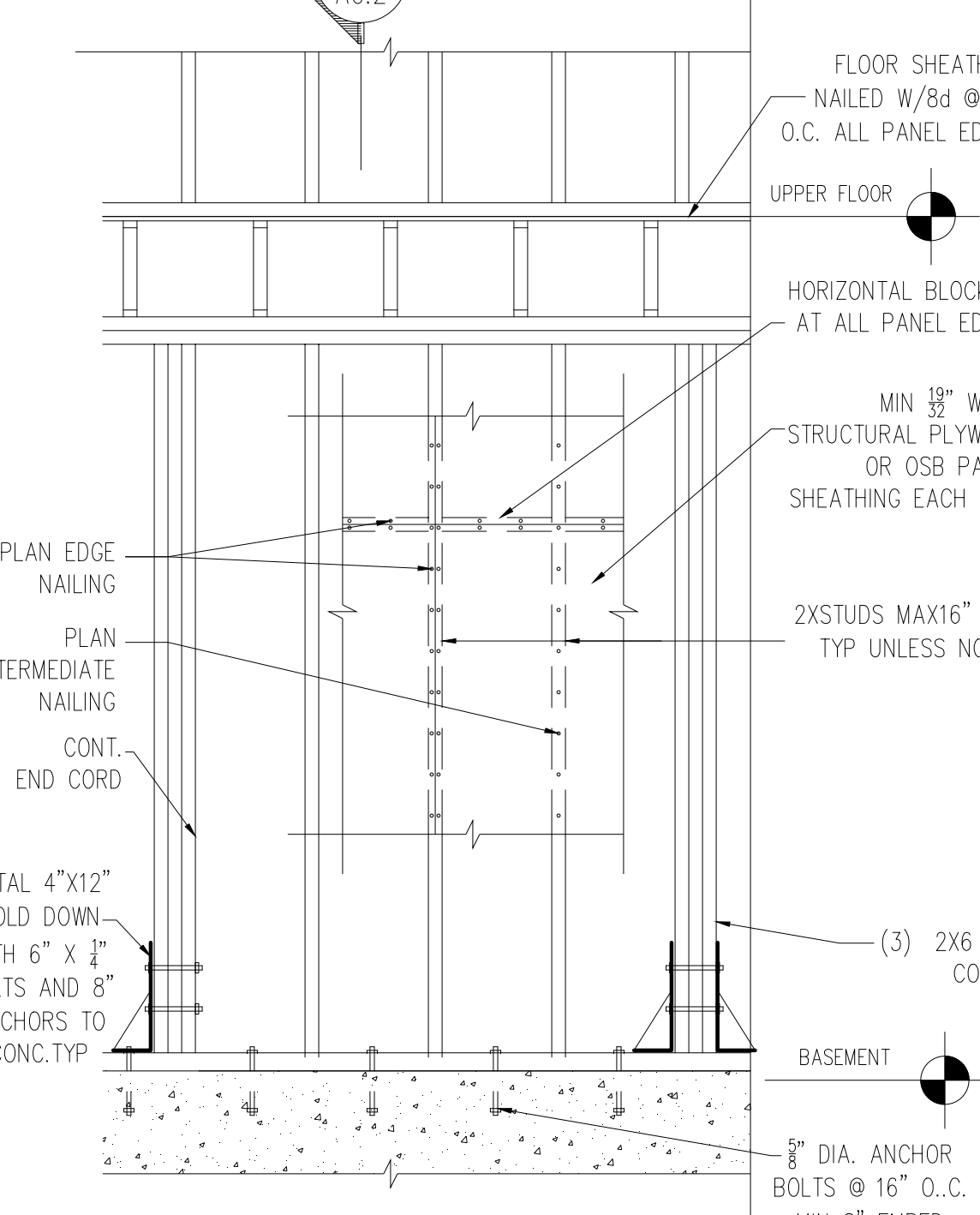
SC 1/4" = 1'-0"

TYPICAL WOOD NAILING SCHEDULE		
BUILDING ELEMENT	NAIL TYPE	NUMBER AND DISTRIBUTION
DOUBLE STUDS	DIRECT	10d @ 18" O.C. 1" FROM EDGE EACH SIDE
TRIPLE STUDS	DIRECT	30 @ 18" O.C. 1 1/2" FROM EDGE EACH SIDE
SAW JOISTS OR RAFTER TO SILL OR GIRDER	TOE-NAIL	3-8d (MIN. 2" BRG)
LVL OR LVL TO SILL OR T/HEADER	TOE-NAIL	3-10d W/ MIN. 3" BRG
2 PLY SAWN BUILT-UP BEAMS AND GIRDERS (UNLESS NOTED)	DIRECT	8d AT 12" O.C. TOP & BOTTOM EDGE ONE SIDE (STAGGERED) + 2-8d @ ENDS
3 PLY SAWN BUILT-UP BEAMS AND GIRDERS (UNLESS NOTED)	DIRECT	20d AT 32" O.C. TOP & BOTTOM EDGE EA. SIDE (STAGGERED) + 2-20d @ ENDS
BUILT-UP LVL BEAMS WITH (2) 1 1/2" PLYS	DIRECT	10d AT 12" O.C. 1" FROM TOP & BOTTOM EDGE (STAGGERED)



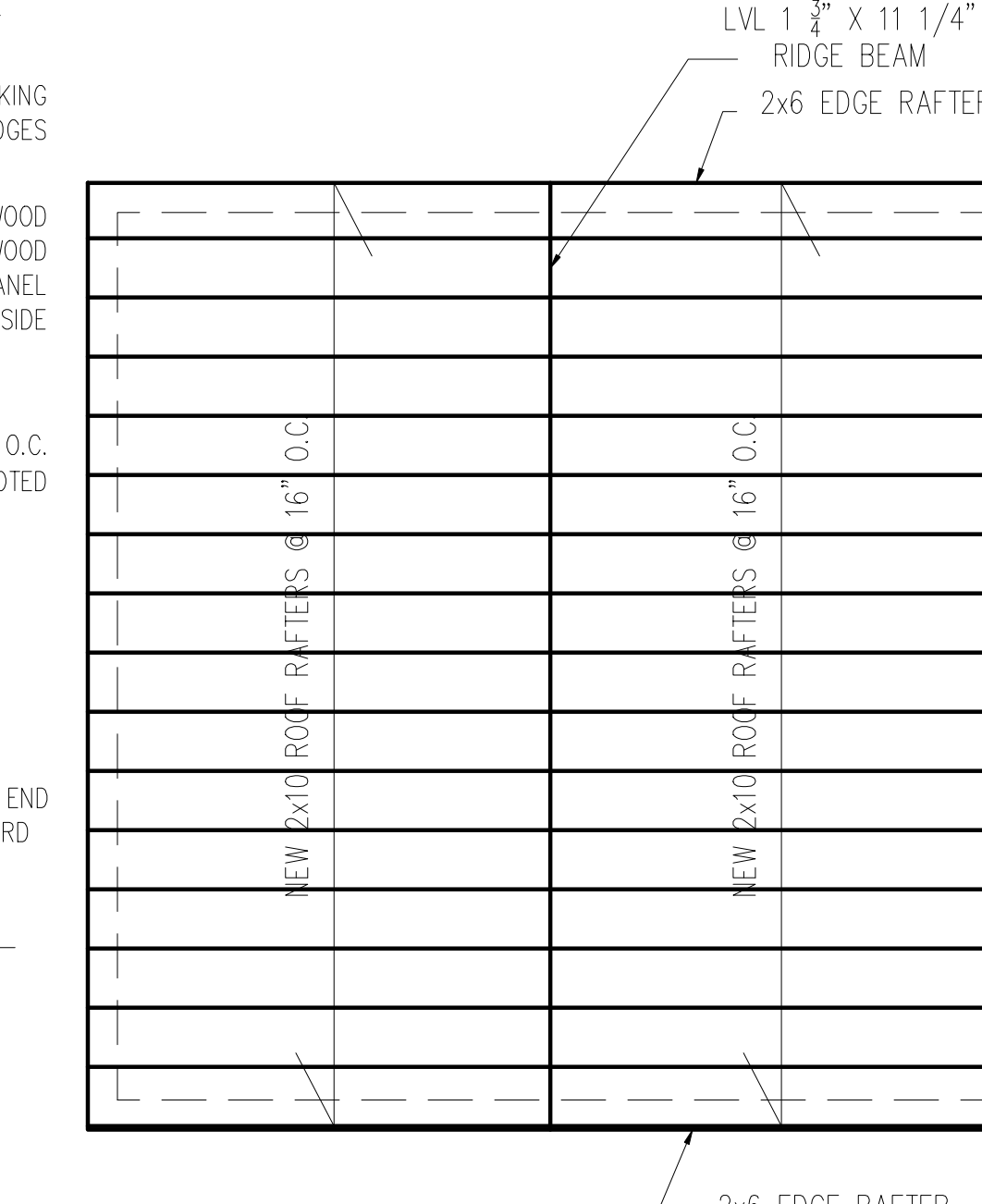
11 TYPICAL SHEAR WALL DETAIL

SC 1/4" = 1'-0"



7.1 TYPICAL SHEAR WALL FRAMING

SC 1/4" = 1'-0"



6 GARAGE FRAMING PLAN

SC 1/4" = 1'-0"

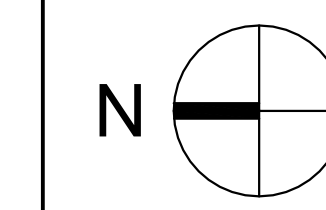
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FRAMING PLANS

A0.2

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ELEVATIONS



5 TRANSVERSE SECTION

* DOOR STYLE SELECTION AND SELECTION BY OWNER

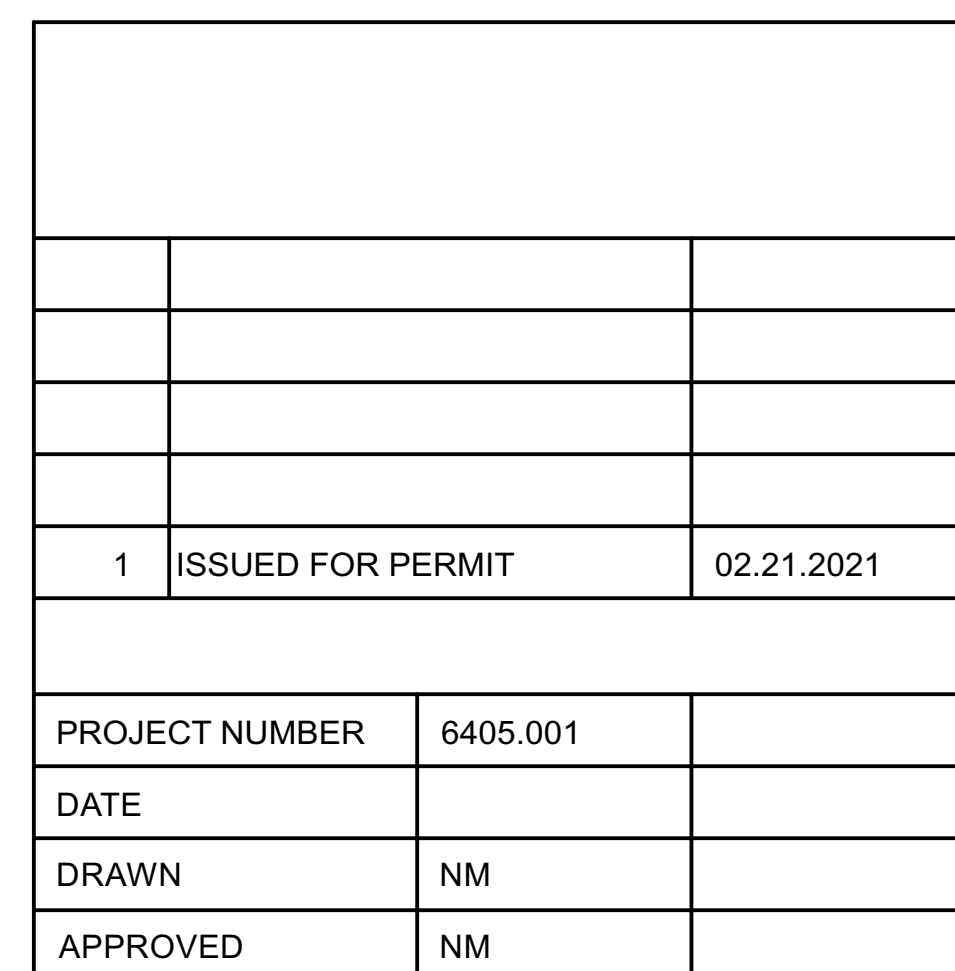
Diagram of Door Type 'A' showing dimensions and components. The door is labeled 'DOOR TYPE 'A'' at the bottom. The width is indicated by a dimension line at the top labeled 'SEE SCHEDULE'. The height is indicated by a dimension line on the left labeled 'SEE SCHEDULE'. The door features a dashed line indicating a diagonal split or hinge location. A handle is shown on the right side of the door.

WINDOW SCHEDULE				
NO.	WD X HT	TYPE	QUAN.	HEAD HEIGHT
1	7'6" x 6'4"	DOUBLE HUNG	2	8' AFF/ ALIGN W ENTRY DOOR
2	2'2" x 4'10"	DOUBLE HUNG	1	8' AFF
3	4'5" X 2'2"	CASEMENT	1	8' AFF/ ALIGN W ENTRY DOOR
4	5' x 5'2"	DOUBLE CASEMENT	1	6'8" AFF
5	3'10" X 4'	SLIDING	1	6'8" AFF
6	5'4" x 2'4"	SLIDING	1	7' AFF
7	5'8" x 2'4"	SLIDING	1	7' AFF
8	4'10" x 2'4"	SLIDING	1	7' AFF
9	2'4" x 2'4"	SLIDING	2	7' AFF
10	3'4" X 5'4"	DOUBLE HUNG	1	6'8" AFF
11	2'6"x1'6"	AWNING	2	6'8" AFF
6	3'10" X 2'4"	SINGLE HUNG	2	6'8" AFF
12	2'4" X 5'4"	DOUBLE HUNG	3	6'8" AFF (LVL 02)
13	4'2" X 5'4"	DOUBLE HUNG	3	8' AFF
14	2'4" X 3'4"	DOUBLE HUNG	3	6'8" AFF

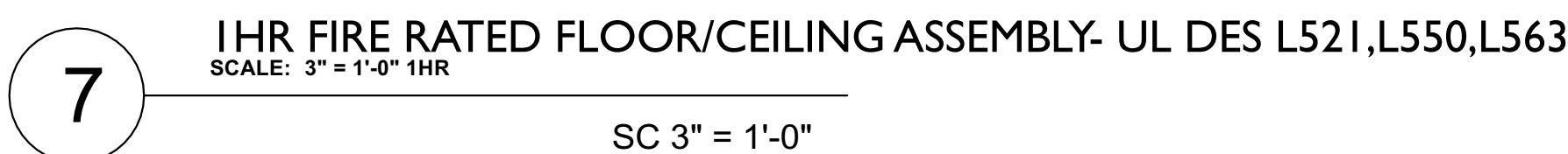
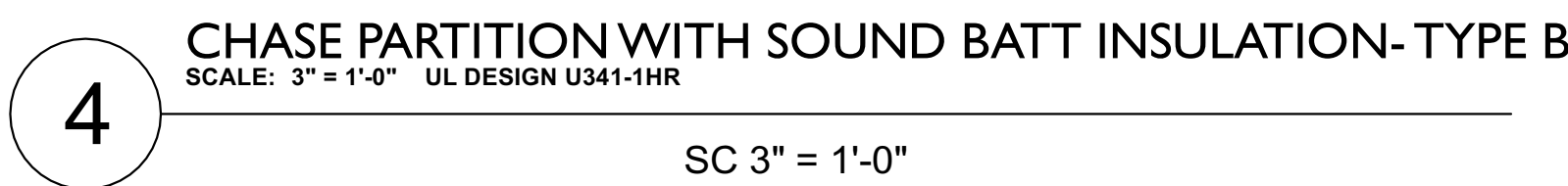
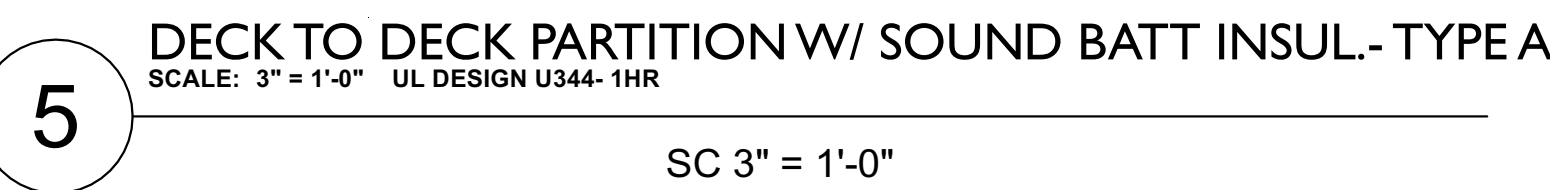
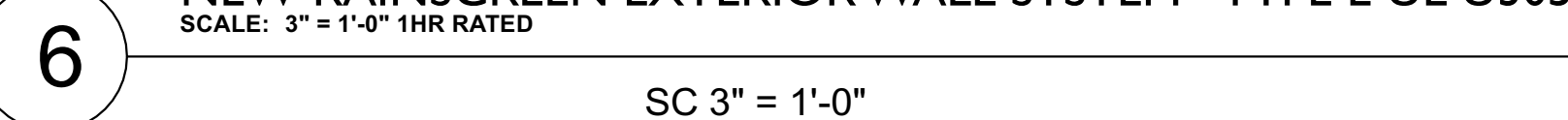
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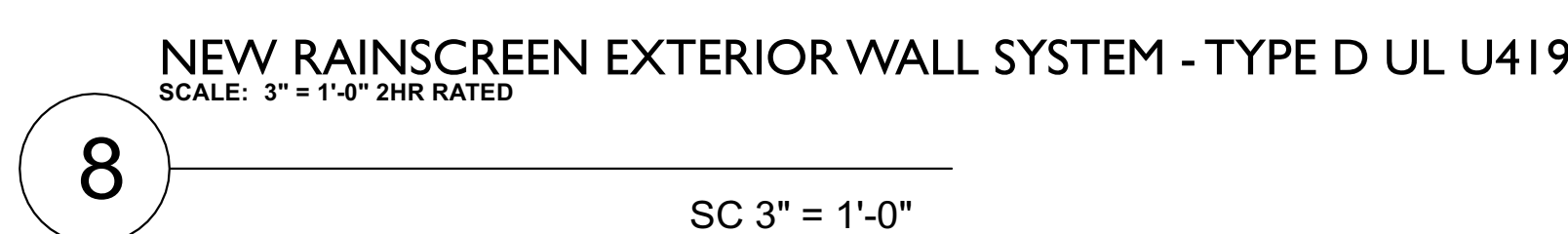
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A0.4



JOIST, BEAM OR HEADER SIZE	A	B	C	D	E MIN. BEARING LENGTH	
	MAX. NOTCH LENGTH NOT TO EXCEED d/3	MAX. NOTCH DEPTH NOT TO EXCEED d/6	MAX. END NOTCH DEPTH NOT TO EXCEED d/4	MAX. HOLE DIA. NOT TO EXCEED d/3	WOOD OR STEEL	MASONRY
2X8	2 3/8 "	1 3/16 "	1 13/16 "	2 3/8 "	1 1/2 "	3"
2X10	3 1/6 "	1 1/2 "	2 5/16 "	3 1/6 "	1 1/2 "	3"
2X12	3 3/4 "	1 7/8 "	2 13/16 "	3 3/4 "	1 1/2 "	3"



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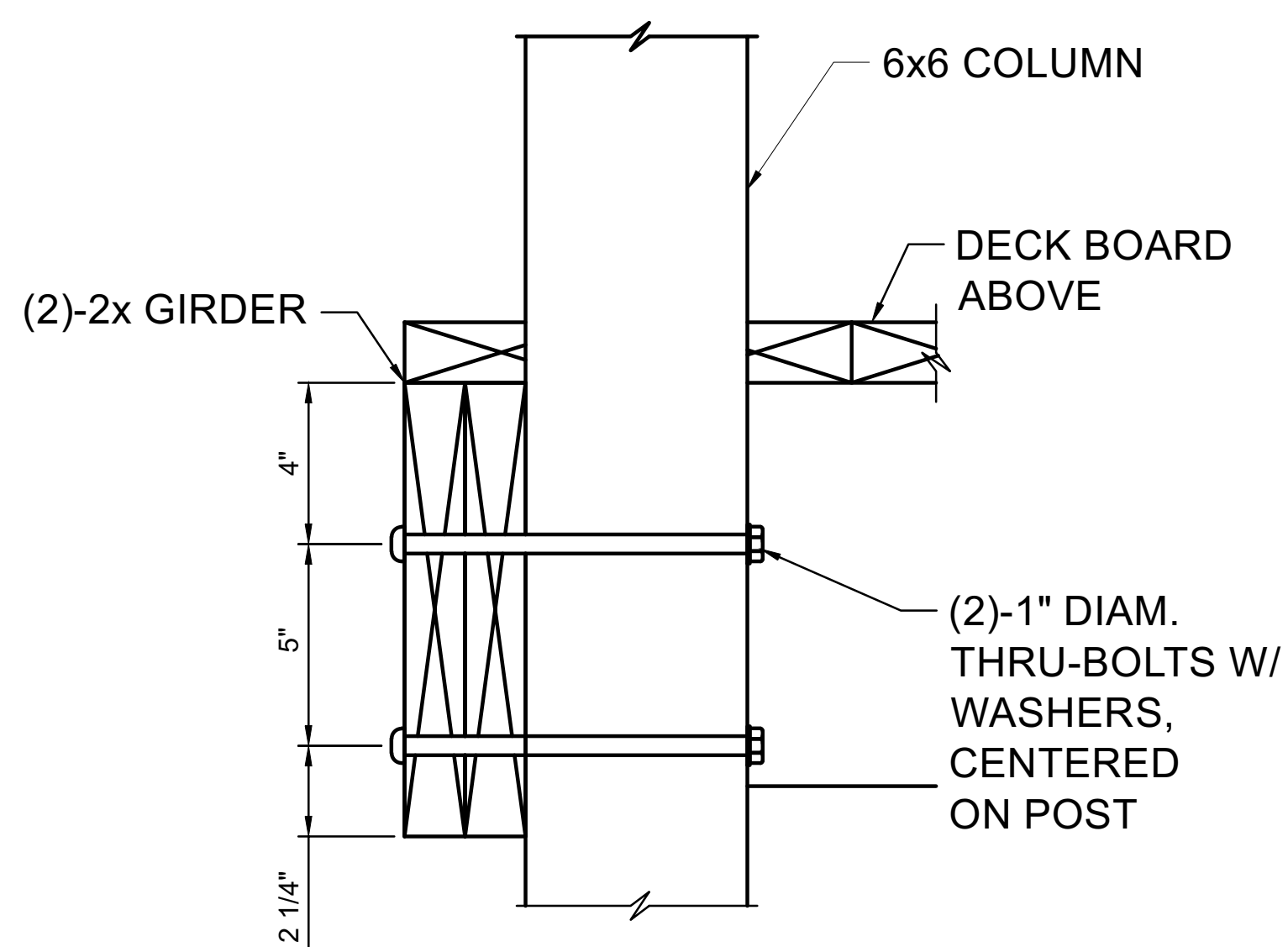


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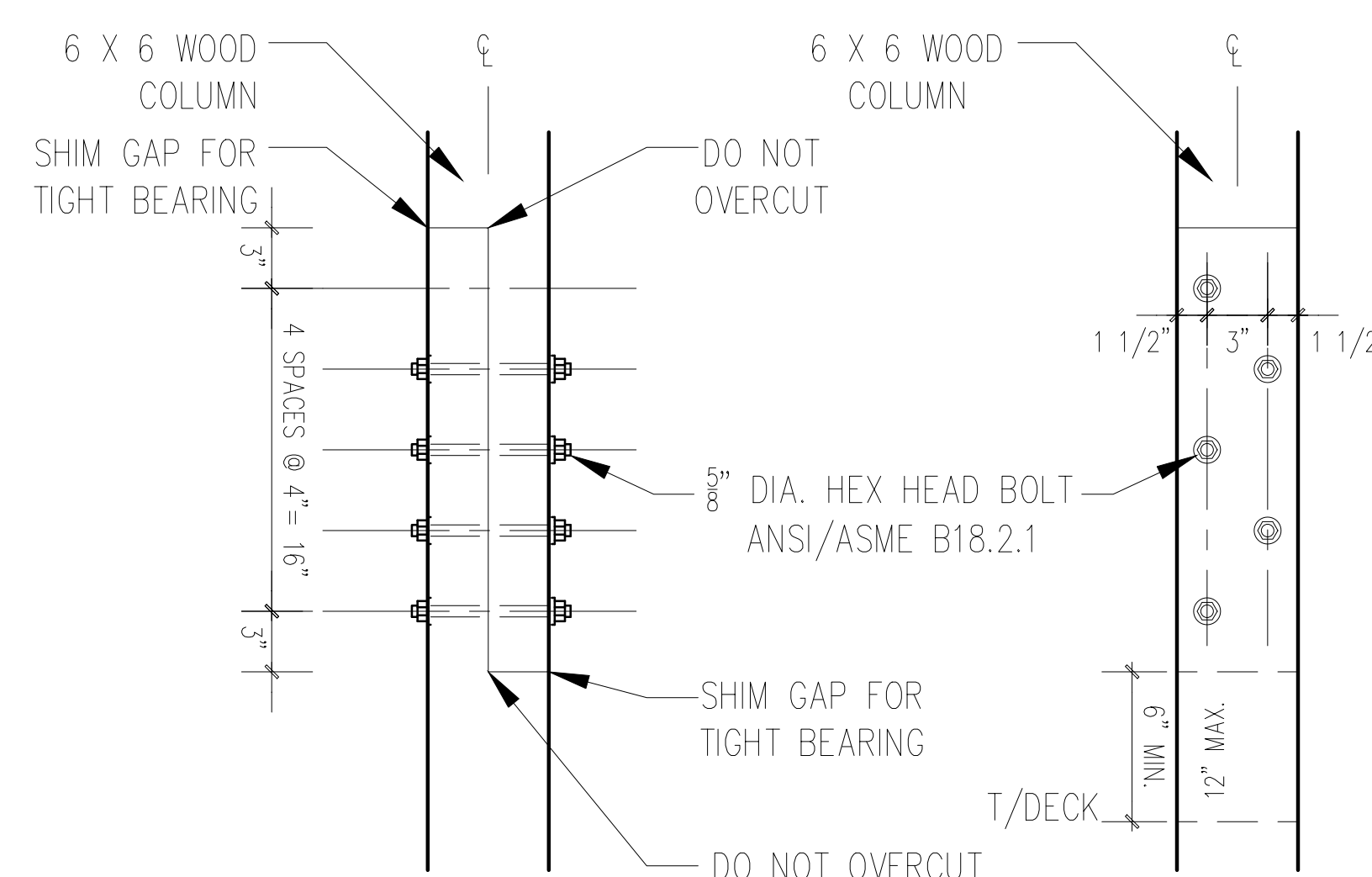


ARCHITECTURAL DETAILS & SCHEDULES

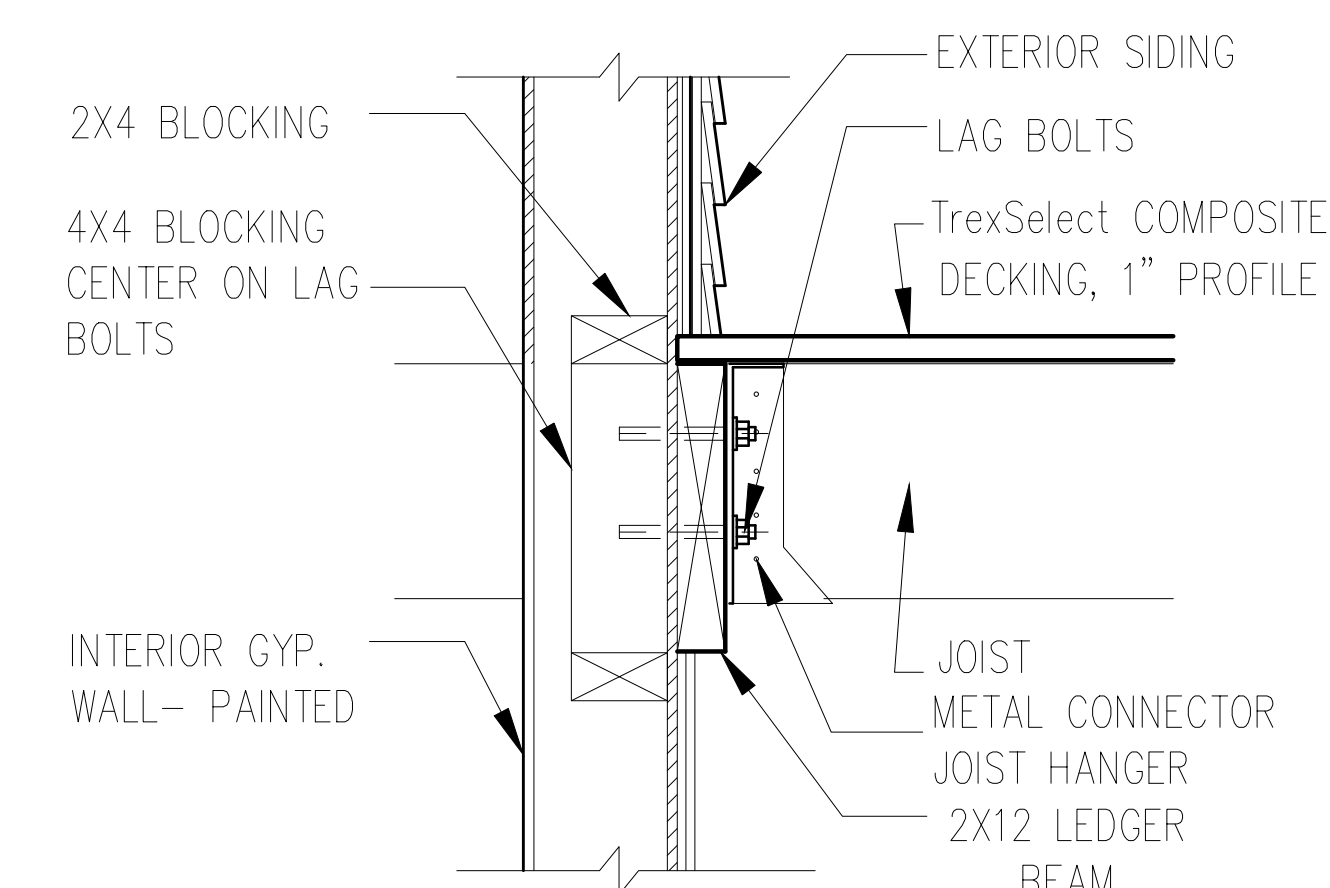
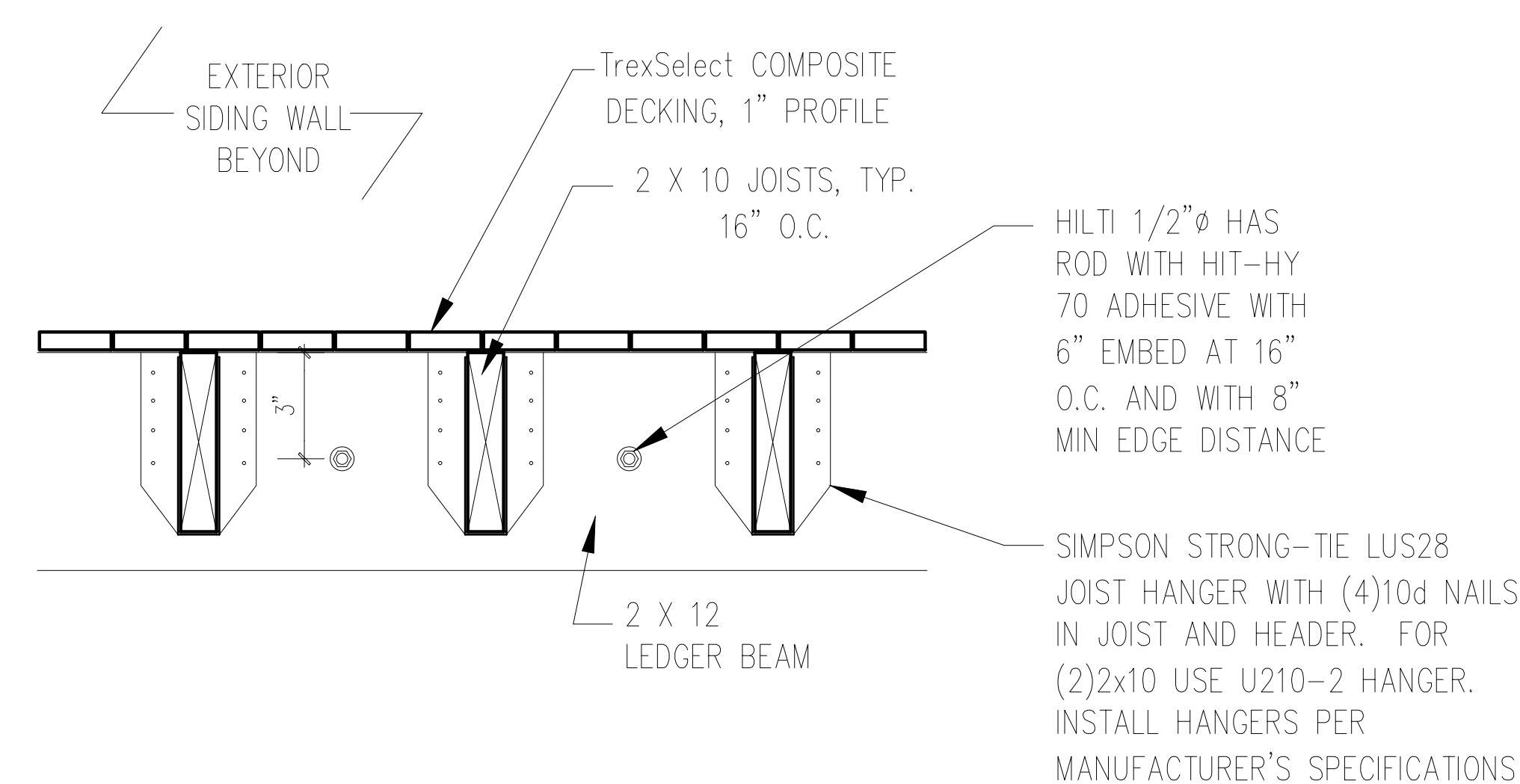
A0.5



NOTES:
1. INSTALL ALL METAL CONNECTIONS PER MANUFACTURER'S
INSTALLATION INSTRUCTIONS.



NOTE: DO NOT LOCATE SPLICE AT BEAM
OR GUARDRAIL TO COLUMN CONNECTION

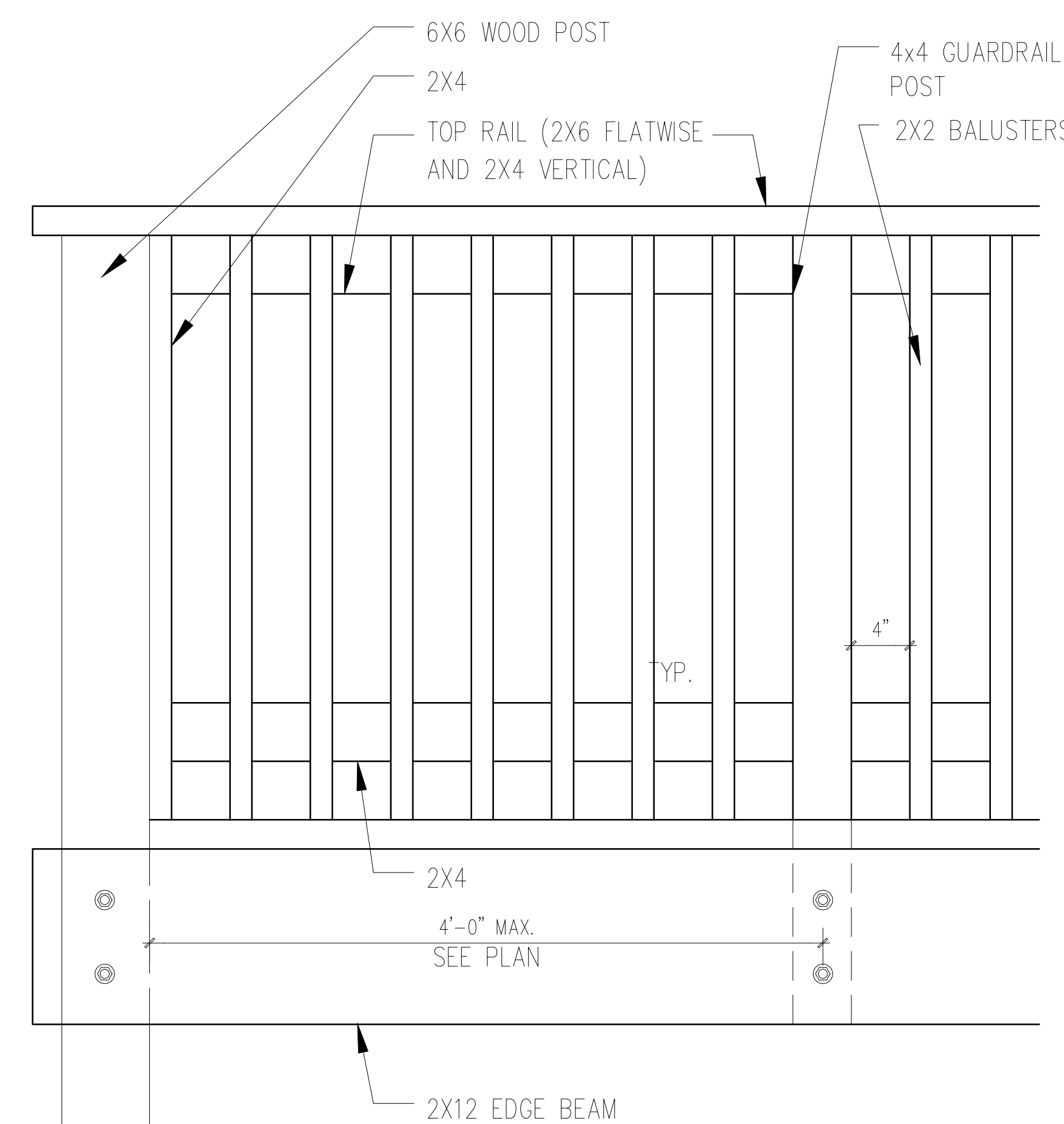
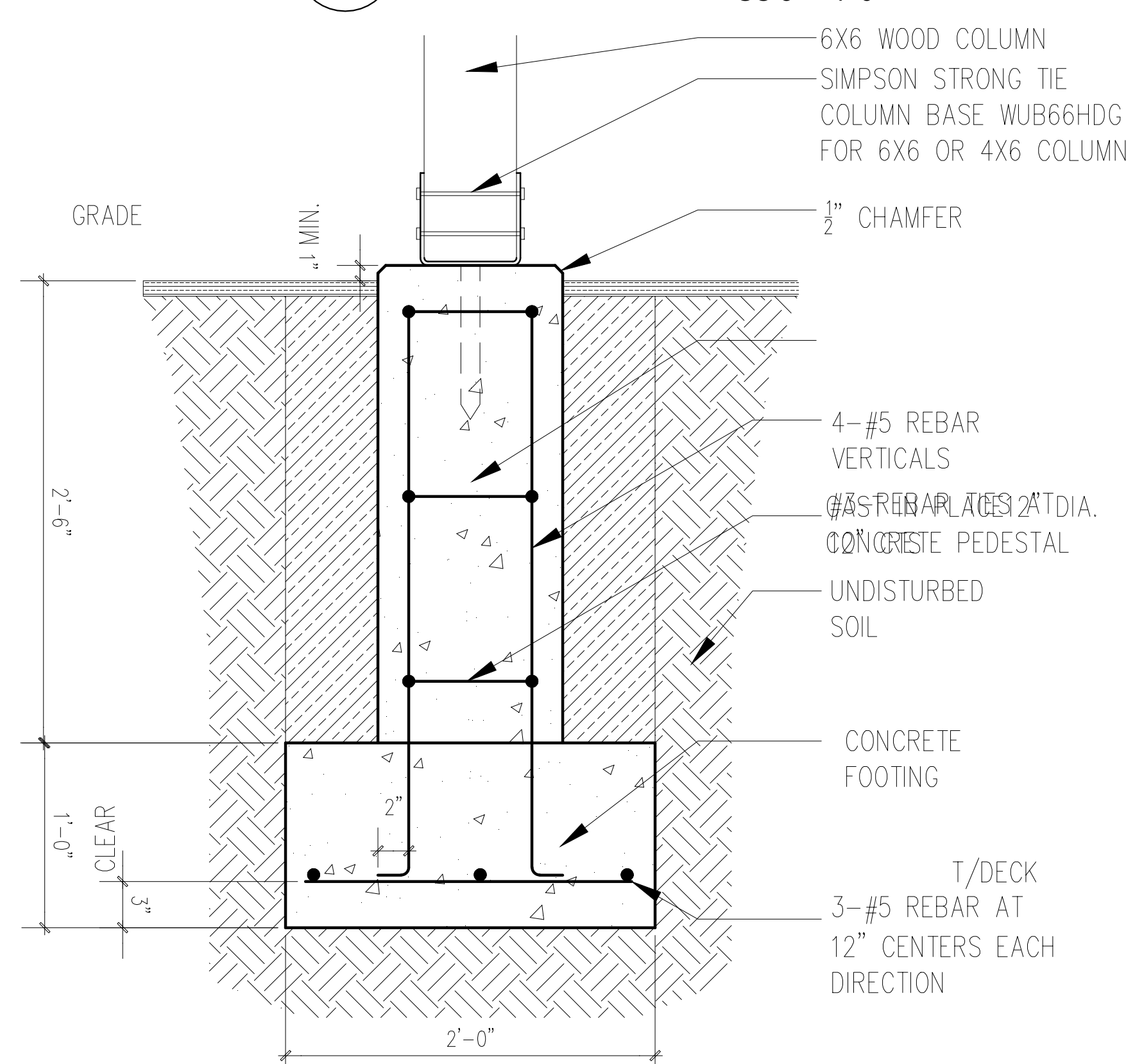


10 DETAIL SC 3" = 1'-0"

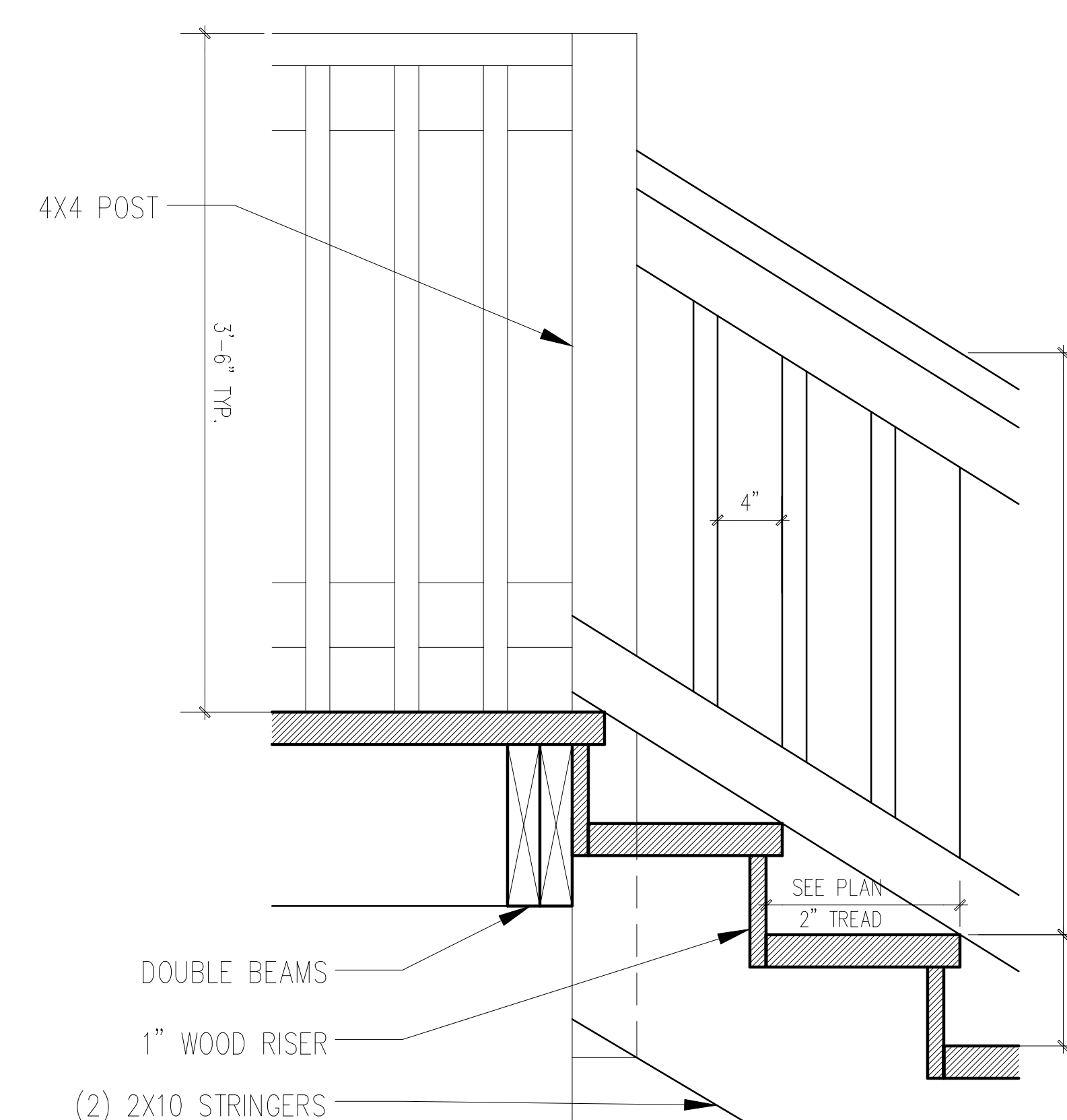
9 PORCH COLUMN LAPPING DETAIL

8 DETAIL SC 3" = 1'-0"

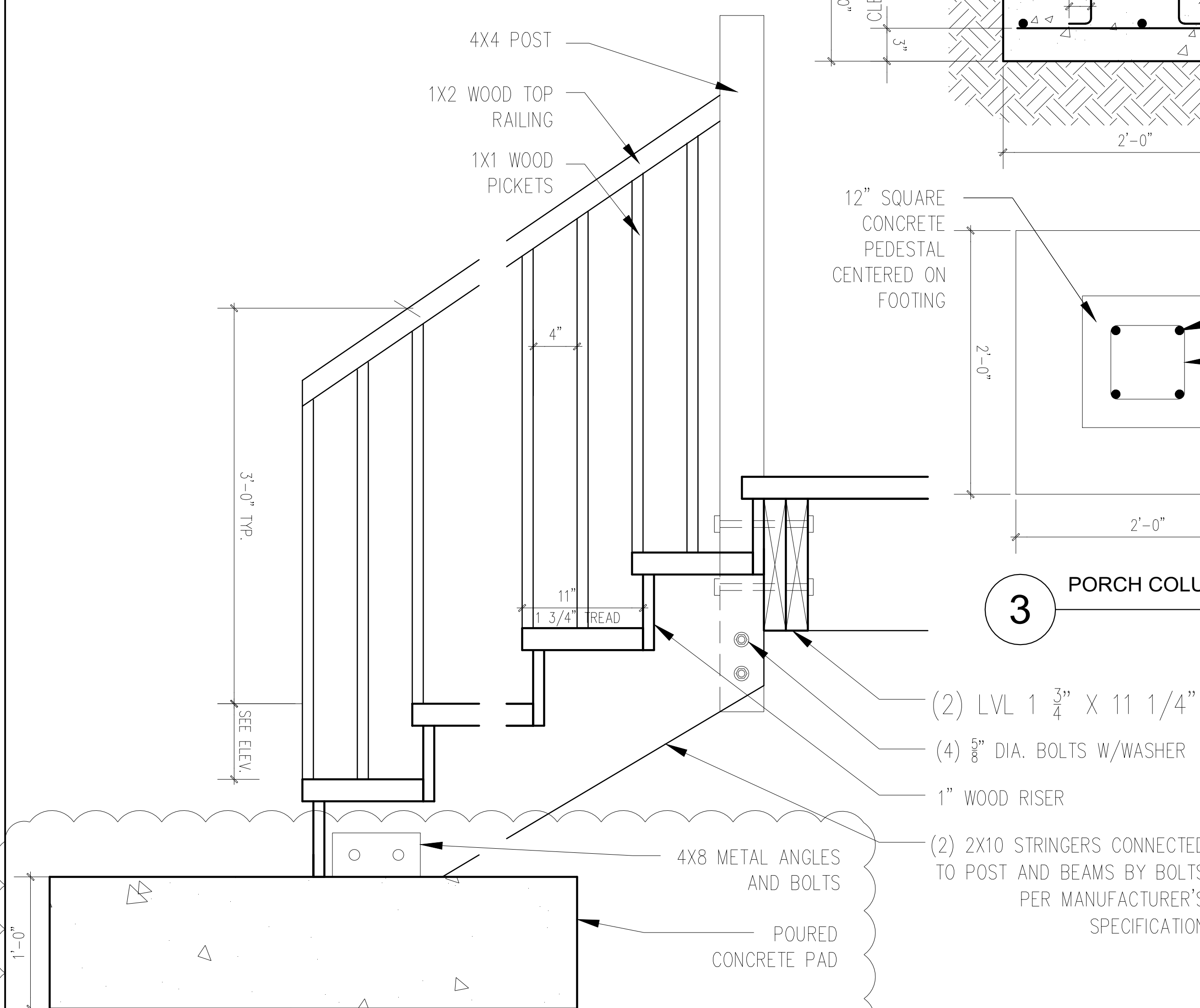
7 DETAIL SC 3" = 1'-0"



6 DETAIL SC 3" = 1'-0"

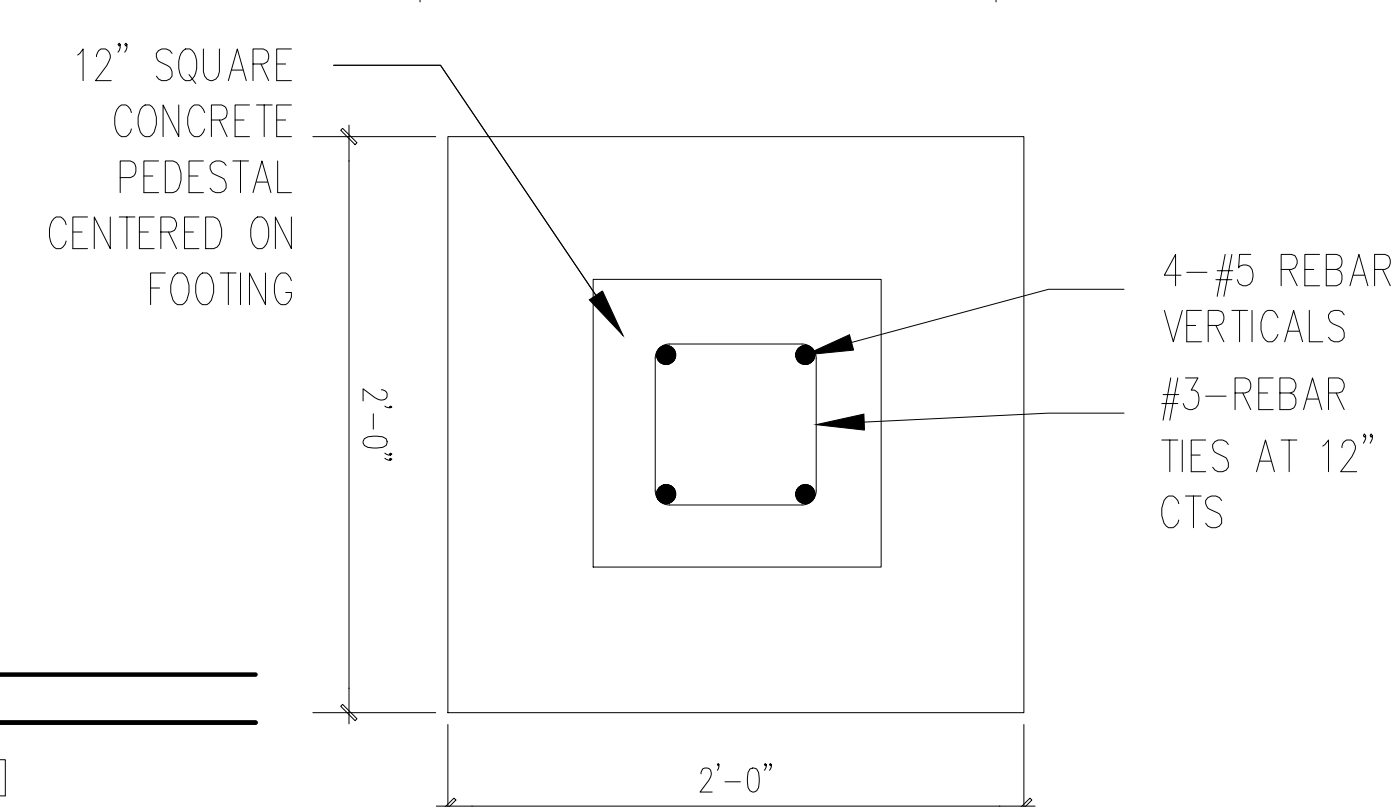


5 DETAIL SC 3" = 1'-0"

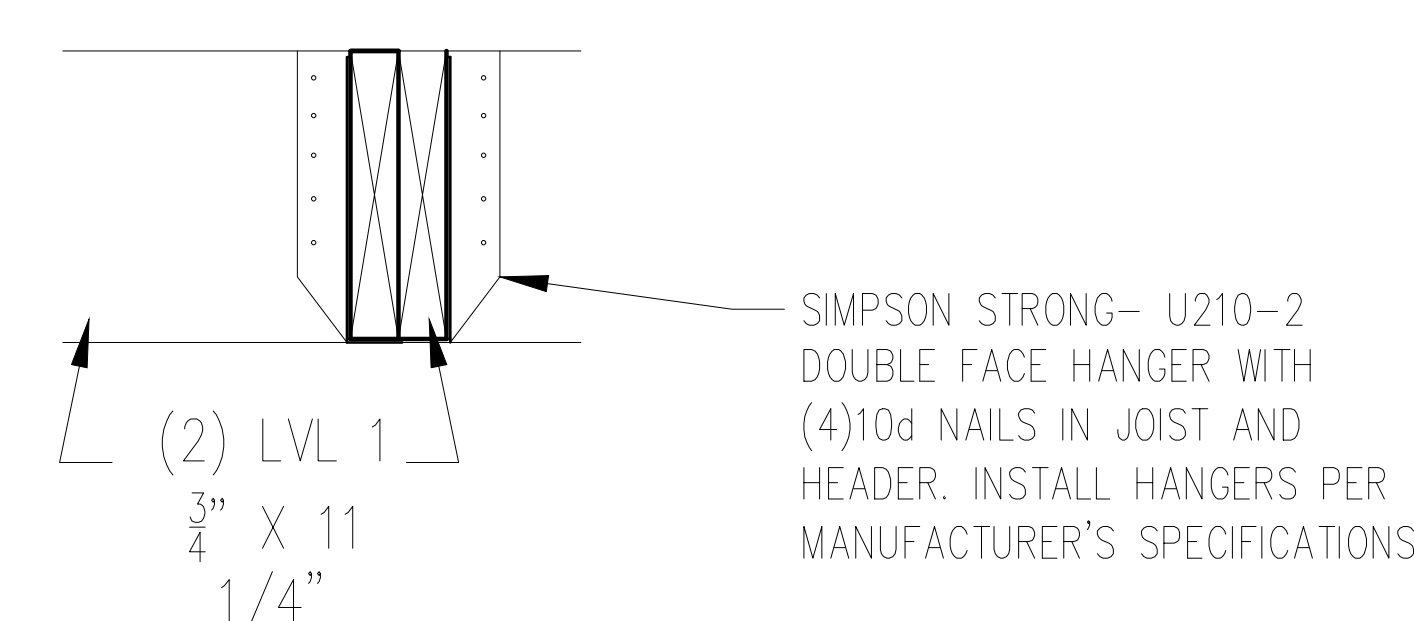


4 PORCH COLUMN FOOTING DETAIL SC 3" = 1'-0"

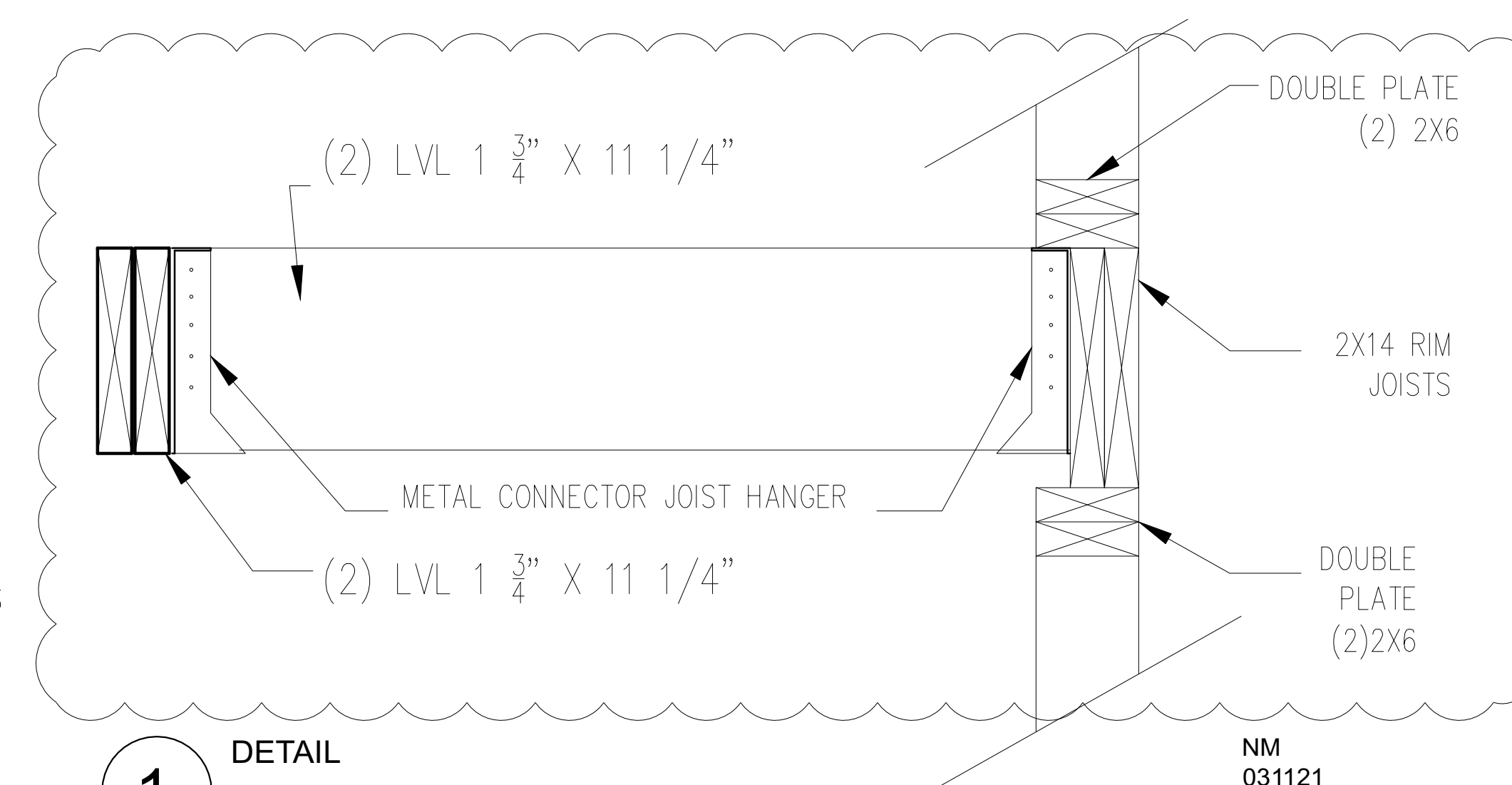
3 PORCH COLUMN FOOTING DETAIL



2 DETAIL SC 3" = 1'-0"



1 DETAIL SC 3" = 1'-0"



23	Not Complied		Arch2	3	Oscar Audifred	A0.2- FRAMING PLANS_APP#100906535.pdf	ARCH	ARA000	ARA000- Adminitravite Issue PLEASE SHOW HERE AND/OR ON ARCH PLANS WHERE 6X6 BEAR ON (FOOTINGS). JUST LIKE THE BACK PORCH.	5/19/2021 6:47:15 am	Detail tag is added as requested and bubbled and dated.	5/19/2021 7:07:59 am
24	Not Complied		Arch2	3	Oscar Audifred	A0.3-ELEVATIONS_APP#100906535.pdf	ARCH	ARA000	ARA000- Adminitravite Issue SEE FRAMING PLANS FOR CORRECTION HERE.	5/19/2021 6:45:59 am	Detail tag is added as requested and bubbled and dated.	5/19/2021 7:07:59 am
22	Not Complied	Processing...	Arch2	3	Oscar Audifred	A0.0- COVER_APP#100906535.pdf	Arch	ARA000	ARA000- Adminitravite Issue I COMPLETED ALL CORRECTIONS ADDRESSED. PLEASE ADDRESS ALL OUTSTANDING CORRECTIONS AND/OR NEW MARKUPS. RESUBMIT AS CERTIFIED CORRECTIONS SO YOU CAN GET APPROVAL FASTER. NOTE: PLEASE HAVE SOMEONE FIX THAT PERMIT DESCRIPTION IN PROX BEFORE FINAL SO THAT THERE ARE NO ISSUES WITH INSPECTORS.	5/19/2021 7:07:10 am	All outstanding questions are already addressed. Please clarify the following items that are still not completed: Comments 15, 16- building characteristics are completed on both applications. Comments 14, 5: outlets are added repeatedly on kitchen island. Comment 6: Gas piping note is added to the mechanical sheet A0.1. Comment 7: all changes are bubbled and dated and initialed.	5/19/2021 7:07:59 am
21	Complied		Arch2	2	Oscar Audifred	E0.1- ELEC PLANS_APP#100906535.pdf	Arch	ara0000	ARA0000+ ADMINISTRATIVE ISSUE PLEASE SHOW ALL REQ. CO ALARMS AT ALL REQ. LEVELS, LOCATIONS.	4/16/2021 11:12:56 am	All required CO alarms are added to the electrical sheet E0.1 on all levels and clouded and dated.	4/25/2021 4:50:39 pm
18	Complied		Arch2	2	Oscar Audifred	A0.1- ARCH PLANS_APP#100906535.pdf	Arch	ara0000	ARA0000+ ADMINISTRATIVE ISSUE - STILL NOT SHOWING SUPPORTING STRUCTURE FOR PORCH AND/OR STAIRS. YOU ARE NOT PROVIDING ALL REQ. FRAMING INFO FOR NEW FRONT STAIRS. HERE OR ON FRAMING PLANS - ALSO FOR THE FRONT STAIR ROOF - STILL NOT SHOWING ALL REQ. GUARDRAIL (AT BASMENT STAIRS)	4/16/2021 11:08:32 am	There is no porch in the back. It is a deck and does not have a roof. The back deck structure is shown in sheet A0.2 including columns, edge beams, stair stringers and floor joists and details referenced in sheet A0.5. Framing for front stair and the stair roof are added to framing plans in sheet A0.2, guardrails for basement stairs are added in elevation 3, 1A0.2 and clouded and dated.	4/25/2021 4:50:39 pm
19	Complied		Arch2	2	Oscar Audifred	A0.2- FRAMING PLANS_APP#100906535.pdf	Arch	ara0000	ARA0000+ ADMINISTRATIVE ISSUE PLEASE COORDINATE THIS WALL SCHEDULE WITH YOUR FLOOR PLANS DOES NOT MATCH THIS SECTION (ONE IS METAL THIS IS WOOD STUDS) - ALSO, PLEASE ACCOUNT FOR ALL REQ. SHEER WALLS - AS WELL AS FOR ALL OPENINGS (DOORS/WINDOWS) IF NOT WILL ROUTE FOR STRUCTURAL REVIEW.	4/16/2021 11:10:56 am	The noted wall is Type D 2HR rated wood frame and is corrected in the wall detail B/A0.4 and clouded and dated. It is NOT a metal stud wall anymore. All required shear walls and detailing is added to sheet A0.2 and clouded and dated. All openings framing information is added to sheet A0.2 and clouded and dated.	4/25/2021 4:50:39 pm
20	Complied		Arch2	2	Oscar Audifred	A0.4-DETAILS_APP#100906535.pdf	Arch	ara0000	ARA0000+ ADMINISTRATIVE ISSUE PLEASE COORDINATE THIS WALL SCHEDULE WITH YOUR FLOOR PLANS. ALSO, PROVIDE A COMPLETE OR HALF SECTION SHOWING THIS TYPE OF METAL CONSTRUCTION AND HOW IT ATTACHES TO FOOTING, ROOF, ETC.	4/16/2021 10:58:32 am	The wall described is NOT metal stud wall, the detail B/A0.4 is corrected to be a wood frame 2HR the rated wall. All wall types A,B,C,D,E are tagged in the plans.	4/25/2021 4:55:32 pm
15	Not Complied		Project Manager	2	Donna Kelly-Mitchell	Form400-#100906535-P3-NC garage.pdf	pm	pm	Complete Building Characteristics, garage	4/7/2021 4:20:39 am	Garage building characteristics are added to the form	4/25/2021 5:45:46 pm
16	Not Complied		Project Manager	2	Donna Kelly-Mitchell	Form400-#100906535.pdf	pm	pM	Complete Building Characteristics	4/7/2021 4:19:57 am	Building characteristics are added to the form	4/25/2021 5:45:46 pm
14	Not Complied		Electrical	1	ralph palombizio	E0.1- ELEC PLANS_APP#100906535.pdf	E2	NOTE0001	NOTE0001 OUTLETS ARE REQUIRED ON KITCHEN ISLANDS	3/8/2021 1:41:29 am	Outlets are added as required on the island side in sheet E0.1 and clouded and dated.	3/11/2021 6:51:23 am
8	Complied		Arch2	1	Oscar Audifred	A0.1- ARCH PLANS_APP#100906535.pdf	Arch	agac434	AGAC434 - Examiner's comments: information submitted is insufficient and/or incomplete for review, additional corrections may be required. See comments - CALL OUT ALL REQ. GUARDRAILS, INTERIOR EXTERIOR AND HEIGHT - CALL OUT ALL PROPOSED MATERIAL. CANNOT HAVE COMBUSTIBLE MATERIAL ON SOUTH SIDE - PROVIDE REQ. RELIEF OPENING FOR GARAGE.	3/5/2021 8:19:57 am	The south side wall is TYPE D- UL rated two hour rated non combustible fiber-cement siding wall. The callouts are added on the plan. The wall detail is added as detail B/A0.4. Guardrail heights are added to tieplan. Guardrail and handrail heights are included in typical stair details 48.58 B/A0.5.	3/11/2021 6:51:24 am
8	Complied		Arch2	1	Oscar Audifred	A0.1- ARCH PLANS_APP#100906535.pdf	Arch	agac434	AGAC434 - Examiner's comments: information submitted is insufficient and/or incomplete for review, additional corrections may be required. See comments - CALL OUT ALL REQ. GUARDRAILS, INTERIOR EXTERIOR AND HEIGHT - CALL OUT ALL PROPOSED MATERIAL. CANNOT HAVE COMBUSTIBLE MATERIAL ON SOUTH SIDE - PROVIDE REQ. RELIEF OPENING FOR GARAGE.	3/5/2021 8:19:57 am	The south side wall is TYPE D- UL rated two hour rated non combustible fiber-cement siding wall. The callouts are added on the plan. The wall detail is added as detail B/A0.4. Guardrail heights are added to tieplan. Guardrail and handrail heights are included in typical stair details 48.58 B/A0.5.	3/11/2021 6:51:24 am
13	Complied		Arch2	1	Oscar Audifred	A0.0- COVER_APP#100906535.pdf	Arch	ara0000	ARA0000+ ADMINISTRATIVE ISSUE CLARIFY WHAT THIS MEANS: ALL WORK AS PER APPROVED DRAWINGS. ALSO, ON PROX DESCRIPTION IT SAYS "PERMIT ALREADY OBTAINED FOR THIS PERMIT"? DON'T KNOW WHAT THAT MEANS. WHY NOT - JUST REMOVE ALWAYS CALL OUT CONSTRUCTION TYPE FOR ALL NEW WORK. AL	3/5/2021 8:18:46 am	"All work per approved drawings" is directing the contractors to deliver the work based on the approved drawings. The project description in Hansen is outdated and the architect is not able to change the system. However, revised project description is included in all permit application and the cover sheet. It reads: "SPR 2019 CBC NEW CONSTRUCTION TWO UNIT MULTIFAMILY RESIDENTIAL WITH REAR DECK AND GARAGE". Construction Type is U.A. as noted on the cover sheet code matrix and permit applications.	3/11/2021 6:51:24 am
11	Complied		Arch2	1	Oscar Audifred	A0.4-DETAILS_APP#100906535.pdf	Arch	ara0000	ARA0000+ ADMINISTRATIVE ISSUE R21 MIN REQ. TYP ALSO, PROVIDE CORRECT HOUR RATING. THIS IS A 2HR REQUIRED MIN. ALSO, SPECIFICALLY CALL OUT THE 1HR WALL	3/5/2021 8:06:59 am	Detail B/A0.4 is added for two hour fire rated wall Type D. The wall types are Type D for 2hr and Type E for 1hr and all called out around the plans and clouded and dated. R-value is revised to R21 Min.	3/11/2021 6:56:10 am
12	Complied		Arch2	1	Oscar Audifred	A0.4-DETAILS_APP#100906535.pdf	Arch	ara0000	ARA0000+ ADMINISTRATIVE ISSUE WHERE IS YOUR ANCHOR BOLT	3/5/2021 8:09:00 am	anchor bolt is added in detail 1/A0.4 and clouded and dated.	3/11/2021 6:51:24 am
9	Complied		Arch2	1	Oscar Audifred	A0.2- FRAMING PLANS_APP#100906535.pdf	Arch	agac434	AGAC434 - Examiner's comments: information submitted is insufficient and/or incomplete for review, additional corrections may be required. See comments. PLEASE PROVIDE ALL REQUIRED COMPLETE INFO: FOOTING INFO, SIZES, DIMENSIONS, CONNECTIONS, ETC. IF ALL STRUCTURAL FRAMING INFO SHOULD BE ON THIS SHEET. IF ALL COORDINATE CORRECTLY WHERE IT IS. STAIR FRAMING - DOUBLE BEAMS BEARING ON EXTERIOR FRAME WALL. - IF NOT COMPLETE INFO, WILL ROUTE FOR STRUCTURAL REVIEWS.	3/5/2021 7:55:09 am	Concrete foundation detail and dimension and frame wall connection to the foundation is in detail 1/A0.4 and tags are added to the foundation plan in drawing S/A0.2 for clarification. Structural framing details are located in sheet A0.2 and A0.3 and tagged in the plan. Stair opening double beam connection to the exterior frame is added in detail 1/A0.5 and clouded and dated. Exterior stairs concrete footing detail is added in 4/A0.3 and tagged in drawing S/A0.2.	3/11/2021 2:37:59 pm
10	Complied		Arch2	1	Oscar Audifred	A0.2- FRAMING PLANS_APP#100906535.pdf	Arch	ara0000	ARA0000+ ADMINISTRATIVE ISSUE ?? WHAT IS THIS ?	3/5/2021 7:55:09 am	Landing framing and attachments are added to the detail 10/A0.2 of the interior stairs. The change is clouded and dated.	3/11/2021 3:34:33 pm
6	Not Complied		Refrigeration	1	Ronald Gardner	M0.1- MECH PLANS_APP#100906535.pdf	REFRIGERATION	RA2342	RA2342 - Examiner comments (30-400) ADD THE GAS PIPING NOTE TO THE PLAN. NATURAL GAS DISTRIBUTION PIPING SHALL BE SCHEDULE 40 BLACK PIPE WITH 150# MALLEABLE IRON FITTINGS.	2/23/2021 7:45:25 am	The required note is added in sheet M0.1 and clouded and dated.	3/11/2021 2:48:26 pm
7	Not Complied		Refrigeration	1	Ronald Gardner	M0.1- MECH PLANS_APP#100906535.pdf	REFRIGERATION	RI1700	RI1700 - Bubble, Date, and Initial all changes to plans.	2/23/2021 7:45:26 am	All changes in drawings are clouded and dated.	3/11/2021 2:37:59 pm
5	Not Complied		Electrical	1	ralph palombizio	E0.1- ELEC PLANS_APP#100906535.pdf	E	NOTE0001	NOTE0001 OUTLETS ARE REQUIRED ON KITCHEN ISLANDS	2/23/2021 7:28:24 am	Outlets are added on the kitchen island sides in sheet E0.1 and clouded and dated.	3/11/2021 2:37:59 pm

CITY OF CHICAGO
DEPARTMENT OF BUILDINGS
Certified Corrections Program
Professionals of Record Certification Statement

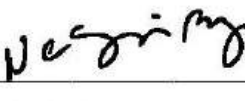
All licensed professionals that stamp the plans and make the Department of Buildings' requested code corrections must sign and seal this Certification.

Application Number: 100906535

Project Address: 6405 S Rhodes Ave

Chicago, IL 60637

I hereby certify that I am the Professional of Record for this Project and to the best of my knowledge, I have personally made all requested code corrections to the plans sets as reflected on the attached correction sheet.

ARCHITECT:  SIGNATURE: _____

Printed Name: Meghan Moayer

Address: 3028 N. Hoyne Ave, Chicago IL 60618

Dated: 3/11/2021

STRUCTURAL ENGINEER: SIGNATURE: _____

Printed Name: _____

Address: _____

Dated: _____



HVAC CONSULTANT: (PROFESSIONAL ENGINEER) SIGNATURE: _____

Printed Name: _____

Address: _____

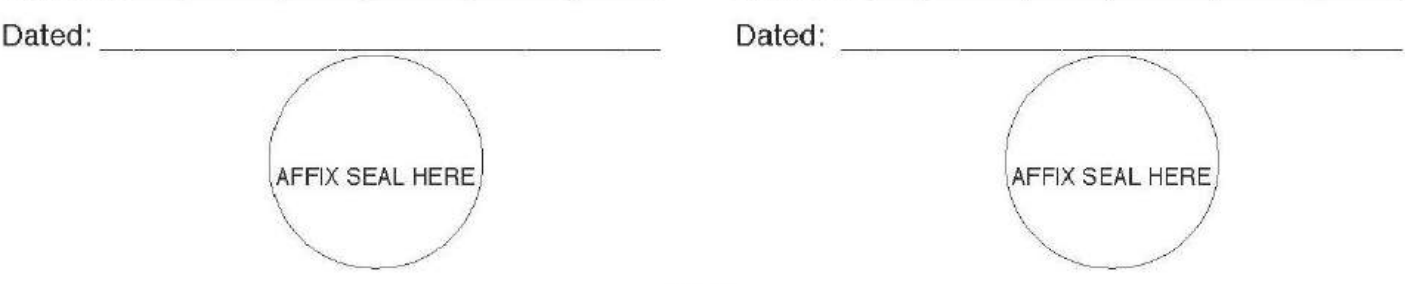
Dated: _____

PLUMBING CONSULTANT: (PROFESSIONAL ENGINEER) SIGNATURE: _____

Printed Name: _____

Address: _____

Dated: _____



City of Chicago



NEW CONSTRUCTION
6405 S.RHODES Ave., Chicago IL 60637

BN
MO

Architecture | Interior Design
3028 N. Hoyne Ave| Chicago IL 60618
(414) 736-1131 www.bnmodesign.com

1	ISSUED FOR PERMIT	05:24:2021
PROJECT NUMBER	6405.001	
DATE	10.07.2020	
DRAWN	NM	
APPROVED	NM	
CC0.1		
CERTIFIED CORRECTIONS		

NEW CONSTRUCTION
6405 S.RHODES Ave., Chicago IL 60637

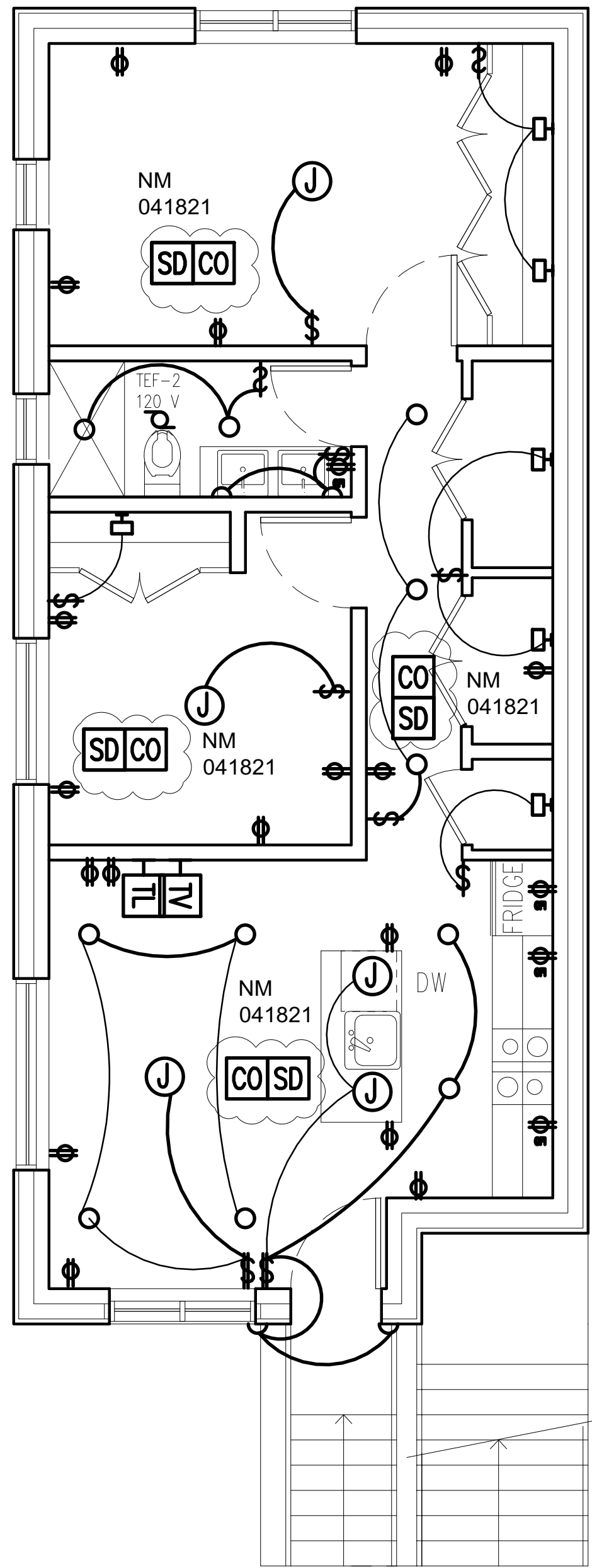
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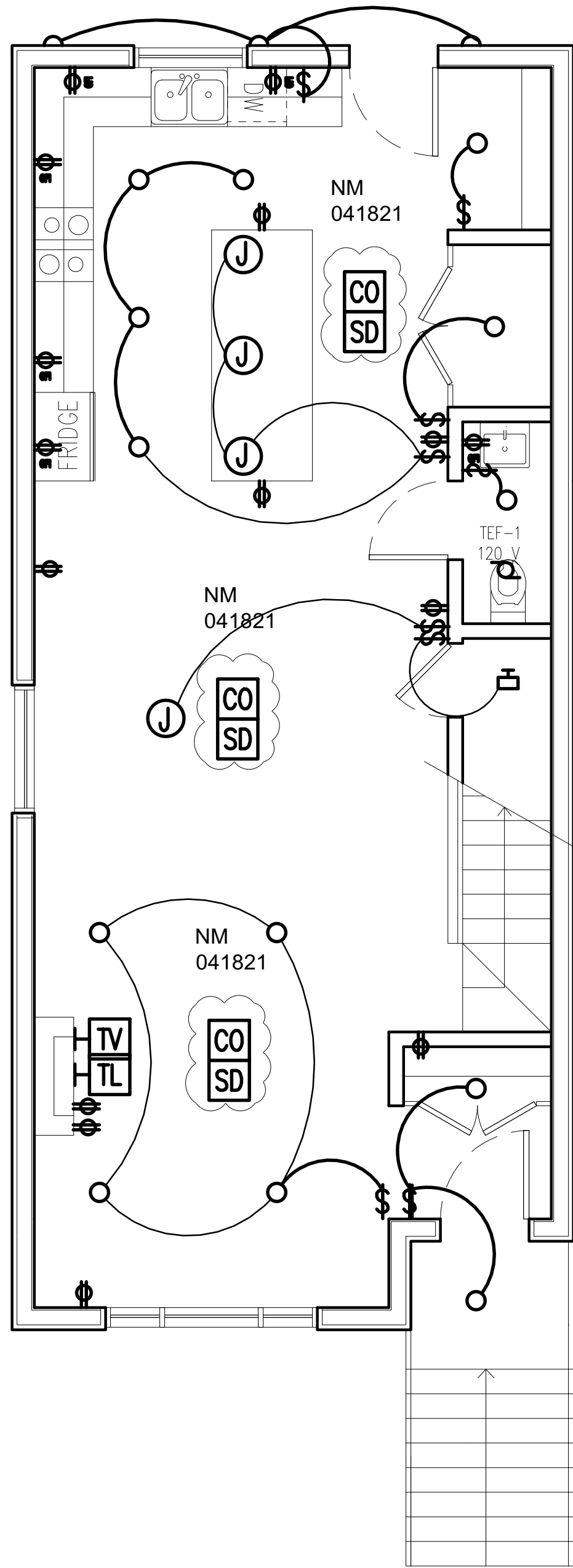


1	ISSUED FOR PERMIT	02.21.2021

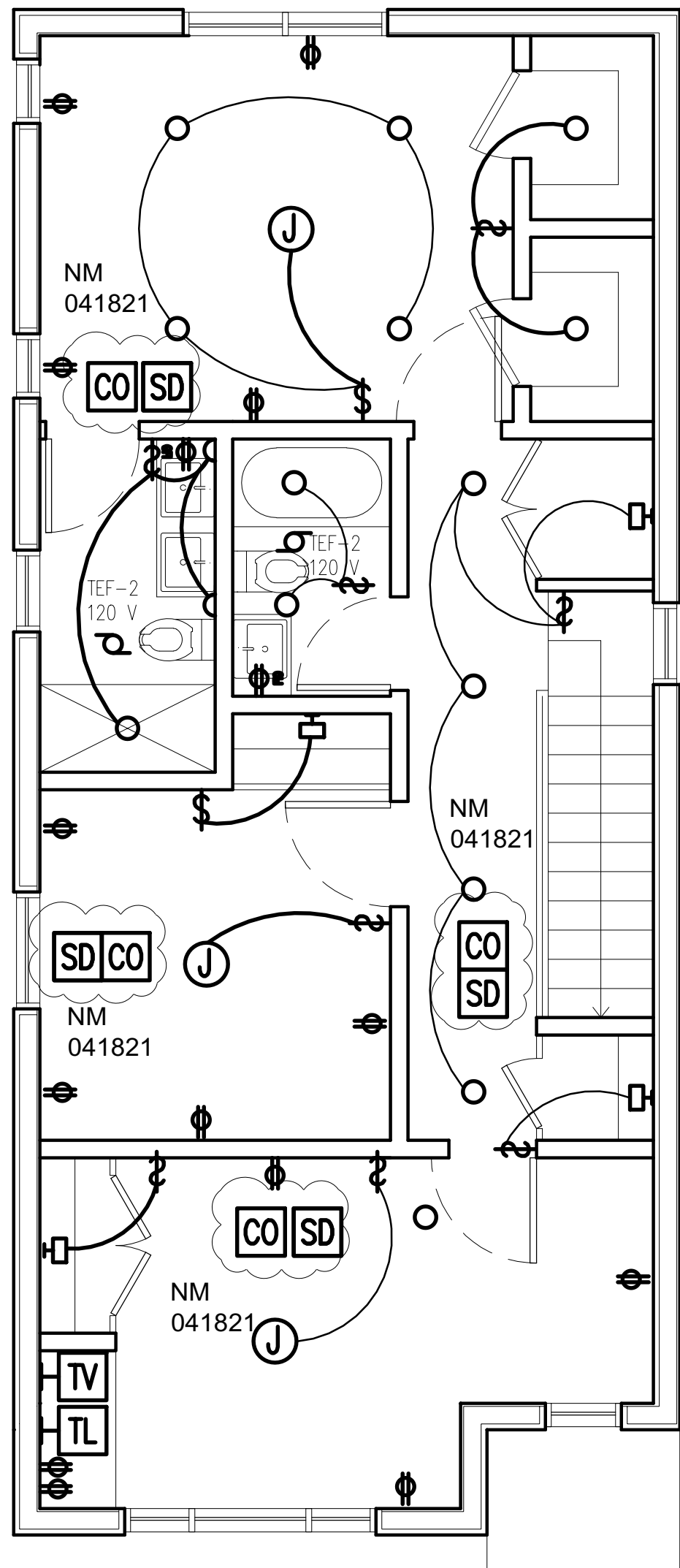
PROJECT NUMBER	6407.001	
DATE		
DRAWN	NM	
APPROVED	NM	



3 BASEMENT ELECTRICAL PLAN
SC 1/4" = 1'-0"



2 1ST FLOOR ELECTRICAL PLAN
SC 1/4" = 1'-0"



1 2ND FLOOR ELECTRICAL PLAN
SC 1/4" = 1'-0"

PANEL SCHEDULE: "T1"				LOCATION: WALL		C.B. RATING: 14 K.A.I.C.	
VOLT: 240/120V-1 -3W		MAINS: 200A M C/B		MOUNTING: RECESSED		TYPE: BOLT-ON	
REMARKS: PANEL UPGRADE							
USE AND/OR AREA SERVED	C/B	CIR NO.	V.A. ØA	ØC	CIR NO.	C/B	USE AND/OR AREA SERVED
GENERAL LIGHTING	20	1			2	20	KITCHEN APPLIANCE CIRCUIT
EXTERIOR LIGHTS	20	3			4	20	KITCHEN APPLIANCE CIRCUIT
MASTER BED ROOM	20	5			6	20	KITCHEN REFRIGERATOR
SPARE	20	7			8	20	SPARE
BATHROOM RECEPTACLE	20	9			10	20	SPARE
BEDROOM 2	20	11			12	20	SPARE
SPARE	20	13			14	20	SPARE
SPARE	20	13			16	20	SPARE
LIVING ROOM	20	15			18	20	SMOKE/CO COMBO DETECTORS
DINING ROOM	20	17			20	20	WASHER
SPARE	20	21			22	20	GAS DRYER
SPARE	20	23			24	20	CONDENSING UNIT A/C
SPARE	20	25			26	2	
SPARE	20	27			28	20	FURNACE
SPARE	20	29			30	20	GAS WATER HEATER

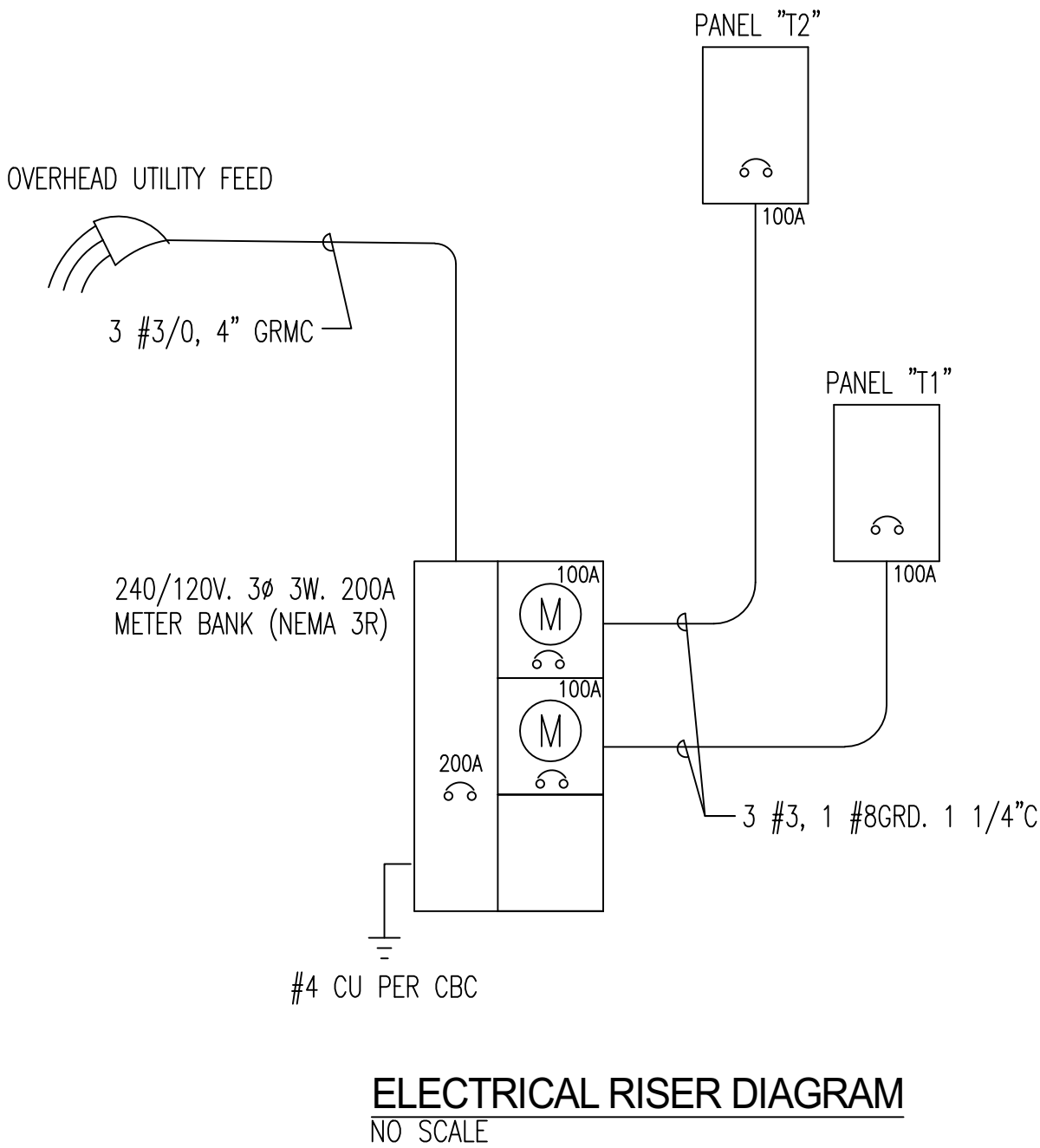
LOAD CENTER NOTES:
ALL PANELBOARD SCHEDULES SHALL BE TYPED AND PLACED IN THE PANEL DOOR BY E.C.
ALL BEDROOMS, LIVING ROOM, RECREATION ROOMS AND SLEEPING AREA SHALL BE PROTECTED BY (AFCI) ARCH. FAULT CIRCUIT INTERRUPTER TYPE CIRCUIT BREAKERS. ALL BEDROOM LIGHTING AND RECEPTACLES SHALL BE ON AFCI CIRCUITS.
BRANCH CIRCUITS AND FEEDERS NOT TO EXCEED 3% VOLTAGE DROP.

ELECTRICAL LOAD CALCULATION			
NAME: TWO FLAT (TENANT #1) ADDRESS: 6403 S RHODES AVE			
RESIDENCE DIMENSIONS: SQAURE FEET 767 FLOORS ONE			
SERVICE = PHASE: 1 WIRE: 3 VOLTAGE: 240/120V. AMPS: 100			
SERVICE CONDUCTORS - SIZE: #3 TYPE: TW/ML CONDUIT: 1 1/4" C GRMC			
GROUNDING ELECTRODE - SIZE: #4CU CONDUIT: 1" GRMC			
OVER CURRENT PROTECTION: SIZE: 100A TYPE: M C/B			
GENERAL BRANCH CIRCUIT LOAD			
SQ.FT. = FLOOR: 767 X 3 WATTS/SQ.FT.		2,301	WATTS
APPL. CKTS/APT: 2 X 1500 WATTS/CKT.		3,000	WATTS
(MIN. TWO CIRCUITS) SUB-TOTAL GENERAL LOAD =		5,301	WATTS
DEMAND LOAD 220.11			
FIRST 20,000 WATTS OF GENERAL LOAD @ 100% =		5,301	WATTS
NEXT 100,000 WATTS OF GENERAL LOAD @ 35% =			WATTS
ALL IN EXCESS OF 120,000 WATTS @ 25% =			WATTS
TOTAL GENERAL LOAD =		5,301	WATTS
APPLIANCE LOADS 220.17, 220.18, 220.19			
NO. OF ELECTRIC RANGE		GAS RANGE = 100	WATTS
NO. OF GARBAGE DISP. 1 @ 560W. EA.		@ 100% = 560	WATTS
NO. OF DISH WASHERS 1 @ 960W. EA.		@ 100% = 960	WATTS
NO. OF GAS DRYERS 1 @ 800 EA.		@ 100% = 800	WATTS
NO. OF GAS. W.H. 1 @ 100 EA.		@ 100% = 100	WATTS
NO. OF FURNACES 1 @ 1200W. EA.		@ 100% = 1,200	WATTS
NO. AIR CONDITIONER #1 1 @ 3264 EA.		@ 100% = 3,264	WATTS
NO. AIR CONDITIONER #2		@ 100% =	WATTS
25% OF LARGEST SUMP		@ 125% =	WATTS
TOTAL EQUIPMENT LOAD =		6,984	WATTS
TOTAL ELECTRICAL LOAD =		12,285	WATTS
AT 240/120V 1Ø =		51.1	AMPS
HEATING COIL LOADS, BASEBOARD HEATER LOADS, AND AIR CONDITIONER LOADS ARE NON-COINCIDENTAL. ONLY THE LARGEST OF THE LOADS WILL BE REPRESENTED IN THE TOTAL LOAD.			

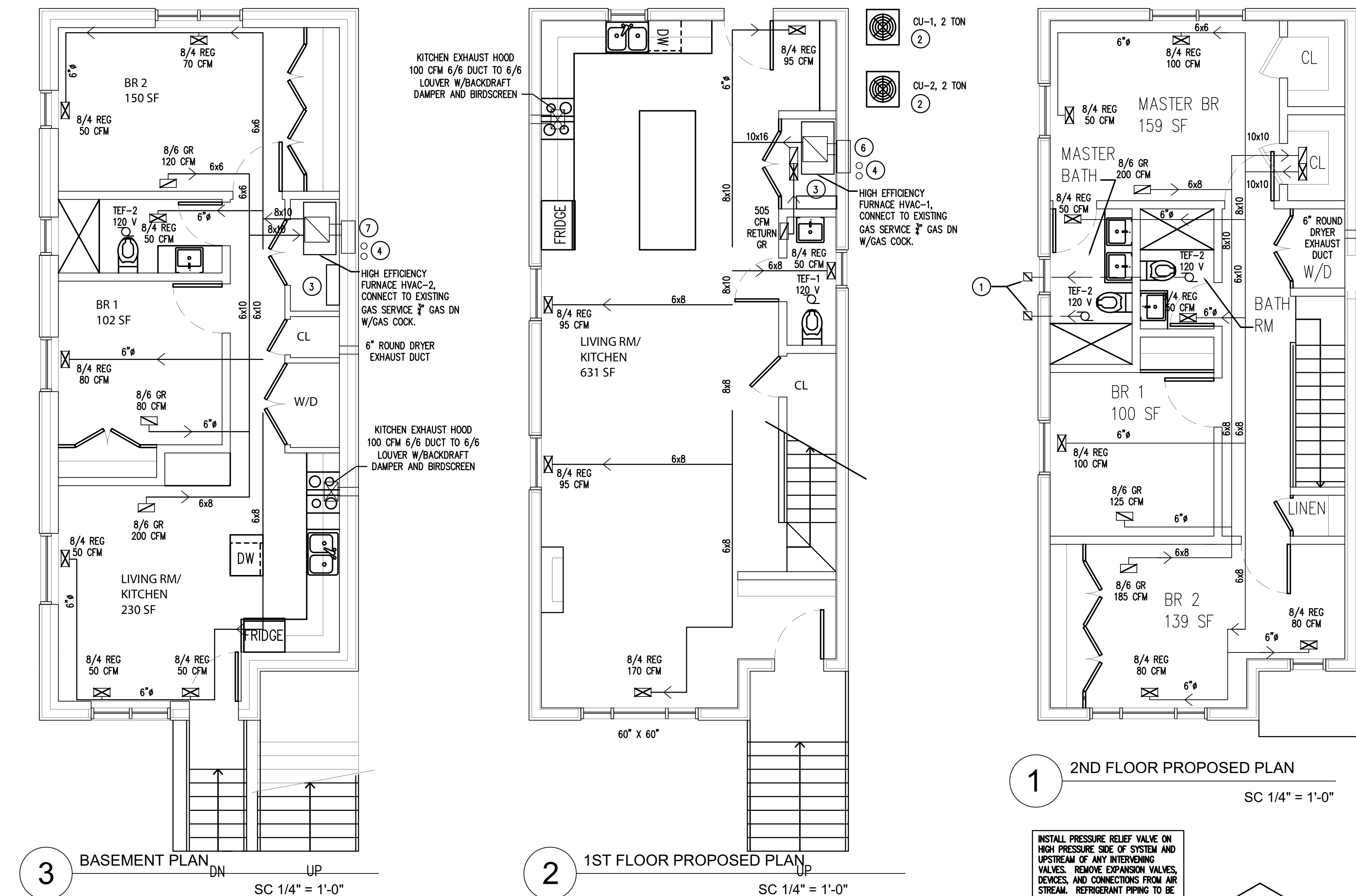
PANEL SCHEDULE: "T2"				LOCATION: WALL		C.B. RATING: 14 K.A.I.C.	
VOLT: 240/120V-1 -3W		MAINS: 200A M C/B		MOUNTING: RECESSED		TYPE: BOLT-ON	
REMARKS: PANEL UPGRADE							
USE AND/OR AREA SERVED	C/B NO.	CIR NO.	V.A. ØA	ØC	CIR NO.	C/B NO.	USE AND/OR AREA SERVED
UPPER LEVEL LIGHTING	20	1			2	20	KITCHEN APPLIANCE CIRCUIT
EXTERIOR LIGHTS	20	1	3		4	20	KITCHEN APPLIANCE CIRCUIT
MASTER BED ROOM	20	1	5		6	20	KITCHEN REFRIGERATOR
MASTER BED BATH RECEPT	20	1	7		8	20	POWER ROOM RECEPT
BATHROOM RECEPTACLE	20	1	9		10	20	MAIN LEVEL LIGHTING
BEDROOM #2	20	1	11		12	20	SPARE
BEDROOM #3	20	1	13		14	20	SPARE
GARAGE LIGHTING, RECEPT	20	1	13		16	20	SPARE
LIVING ROOM	20	1	15		18	20	SMOKE/CO COMBO DETECTORS
DINING ROOM	20	1	17		20	20	WASHER
SPARE	20	1	21		22	20	GAS DRYER
CONDENSING UNIT A/C	20	1	23		24	20	CONDENSING UNIT A/C
FURNACE	20	1	27		28	20	FURNACE
GARAGE MOTORIZED DOOR	20	1	29		30	20	GAS WATER HEATERS

LOAD CENTER NOTES:
ALL PANELBOARD SCHEDULES SHALL BE TYPED AND PLACED IN THE PANEL DOOR BY E.C.
ALL BEDROOMS, LIVING ROOM, RECREATION ROOMS AND SLEEPING AREA SHALL BE PROTECTED BY (AFCI) ARCH. FAULT CIRCUIT INTERRUPTER TYPE CIRCUIT BREAKERS. ALL BEDROOM LIGHTING AND RECEPTACLES SHALL BE ON AFCI CIRCUITS.
BRANCH CIRCUITS AND FEEDERS NOT TO EXCEED 3% VOLTAGE DROP.

ELECTRICAL LOAD CALCULATION			
NAME: TWO FLAT (TENANT #1) ADDRESS: 6403 S RHODES AVE			
RESIDENCE DIMENSIONS: SQAURE FEET 1520 FLOORS TWO			
SERVICE = PHASE: 1 WIRE: 3 VOLTAGE: 240/120V. AMPS: 100			
SERVICE CONDUCTORS - SIZE: #3 TYPE: TW/ML CONDUIT: 1 1/4" C GRMC			
GROUNDING ELECTRODE - SIZE: #4CU CONDUIT: 1" GRMC			
OVER CURRENT PROTECTION: SIZE: 100A TYPE: M C/B			
GENERAL BRANCH CIRCUIT LOAD			
SQ.FT. = FLOOR: 1520 X 3 WATTS/SQ.FT.		4,560	WATTS
APPL. CKTS/APT: 2 X 1500 WATTS/CKT.		3,000	WATTS
(MIN. TWO CIRCUITS) SUB-TOTAL GENERAL LOAD =		7,560	WATTS
DEMAND LOAD 220.11			
FIRST 20,000 WATTS OF GENERAL LOAD @ 100% =		7,560	WATTS
NEXT 100,000 WATTS OF GENERAL LOAD @ 35% =			WATTS
ALL IN EXCESS OF 120,000 WATTS @ 25% =			WATTS
TOTAL GENERAL LOAD =		7,560	WATTS
APPLIANCE LOADS 220.17, 220.18, 220.19			
NO. OF ELECTRIC RANGE		GAS RANGE = 100	WATTS
NO. OF GARBAGE DISP. 1 @ 560W. EA.		@ 100% = 560	WATTS
NO. OF DISH WASHERS 1 @ 960W. EA.		@ 100% = 960	WATTS
NO. OF GAS DRYERS 1 @ 800 EA.		@ 100% = 800	WATTS
NO. OF GAS. W.H. 2 @ 100 EA.		@ 100% = 200	WATTS
NO. OF FURNACES 2 @ 1200W. EA.		@ 100% = 2,400	WATTS
NO. AIR CONDITIONER #1 1 @ 3264 EA.		@ 100% = 3,264	WATTS
NO. AIR CONDITIONER #2 1 @ 3264 EA.		@ 100% = 3,264	WATTS
GARAGE DOOR OPENER 1 @ 960W. EA.		@ 125% = 960	WATTS
TOTAL EQUIPMENT LOAD =		12,508	WATTS
TOTAL ELECTRICAL LOAD =		20,068	WATTS
AT 240/120V 1Ø =		83.6	AMPS
HEATING COIL LOADS, BASEBOARD HEATER LOADS, AND AIR CONDITIONER LOADS ARE NON-COINCIDENTAL. ONLY THE LARGEST OF THE LOADS WILL BE REPRESENTED IN THE TOTAL LOAD.			



ELECTRICAL RISER DIAGRAM
NO SCALE



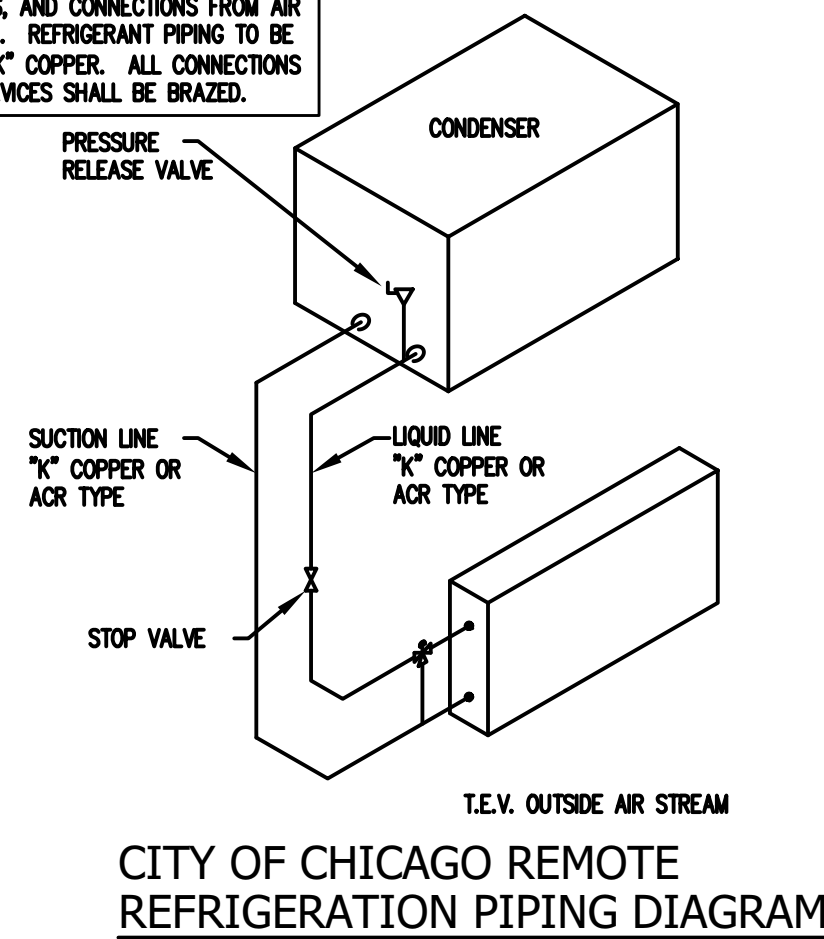
- 4" DIA. EXHAUST DUCT UP TO ROOF. TERMINATE WITH ROOF JACK MINIMUM OF 15'-0" AWAY OR 3'-0" ABOVE ALL FRESH AIR OPENINGS
- REFRIGERANT PIPING SHALL BE ROUTED TO ASSOCIATED FURNACE AS NOTED ON "AIR COOLED CONDENSING UNIT SCHEDULE". SIZE REFRIGERANT PIPING PER MANUFACTURER'S RECOMMENDATION. DO NOT EXCEED MAXIMUM RECOMMENDED LENGTH OF PIPE.
- WATER HEATER B-VENT AND COMBUSTION AIR DUCT UP TO ROOF. TERMINATE WITH CONCENTRIC VENT MINIMUM 30" ABOVE ROOF. SEE DETAIL
- FLU VENT AND COMBUSTION AIR DUCT UP TO ROOF. TERMINATE WITH CONCENTRIC VENT MINIMUM 30" ABOVE ROOF. SEE DETAIL
- 5" DIA. EXHAUST DUCT UP TO ROOF. TERMINATE WITH ROOF JACK MINIMUM OF 15'-0" AWAY OR 3'-0" ABOVE ALL FRESH AIR OPENINGS
- 20x10 WALL LOUVER SHALL BE MINIMUM OF 0.72 SF FREE AREA AND MOUNTED A MINIMUM OF 10'-0" ABOVE GRADE 15'-0" AWAY OR 3'-0" BELOW ALL EXHAUST OPENINGS. DUCT 10X8 O.A. DUCT TO MAIN RETURN DUCT. PROVIDE WITH SPRING LOADED O.A.I DAMPER
- 14x8 WALL LOUVER SHALL BE MINIMUM OF 0.4 SF FREE AREA AND MOUNTED A MINIMUM OF 10'-0" ABOVE GRADE 15'-0" AWAY OR 3'-0" BELOW ALL EXHAUST OPENINGS. DUCT 8"Ø O.A. DUCT TO MAIN RETURN DUCT. PROVIDE WITH SPRING LOADED O.A.I DAMPER

REGISTER SCHEDULE (50% NET FREE AREA MIN.)
UP TO (IN INCHES):
200 CFM USE 6X8
250 CFM USE 6X10
350 CFM USE 8X10
500 CFM USE 10X12
750 CFM USE 10X18
900 CFM USE 12X18

MECHANICAL LEGEND

AIR RETURN	
AIR SUPPLY	
TOILET EXHAUST	
TYPICAL BACKDRAFT DAMPER	
FLOOR MTD. HIGH EFF. GAS FIRED FURNACE W/ PVC FLUE THROUGH ROOF	
DIRECTION OF AIR	
EXHAUST FAN	
SUPPLY DUCT W/ SIZE	
RETURN DUCT W/ SIZE	

INSTALL PRESSURE RELIEF VALVE ON HIGH PRESSURE SIDE OF SYSTEM AND UPSTREAM OF ANY INTERVENING VALVES. REMOVE EXPANSION VALVES, DEVICES AND CONNECTIONS FROM AIR STREAM. REFRIGERANT PIPING TO BE TYPE "K" COPPER. ALL CONNECTIONS AND DEVICES SHALL BE BRAZED.



MECHANICAL GENERAL NOTES AND SPECIFICATIONS

IN GENERAL ALL WORK SHALL BE INSTALLED IN STRICT COMPLIANCE WITH ALL APPLICABLE LOCAL CODES THE NFPA, THE NEC AND THE OWNERS INSURANCE UNDERWRITER.

THIS CONTRACTOR SHALL KEEP AND PREPARE RECORD DOCUMENTS FOR DELIVERY TO THE OWNER AT COMPLETION OF THE PROJECT.

THESE RECORD DOCUMENTS SHALL INCLUDE ALL DUCTWORK MAINS AND BRANCHES BY SIZE AND LOCATION OF DAMPERS AND OTHER CONTROL DEVICES; FILTERS, ETC. REQUIRING PERIODIC MAINTENANCE OR REPAIR.

THESE RECORD DOCUMENTS SHALL INCLUDE ALL PIPING LOCATED BY SIZE AND LOCATION AND SERVICE WITH ALL VALVES AND ANY CONTROL DEVICES LOCATED WITH ITEMS REQUIRING MAINTENANCE.

ALL SEWER PIPING SHALL BE LOCATED AND DIMENSIONED OFF COLUMN CENTER LINES.

ALL EQUIPMENT MAINTENANCE MANUALS SHALL BE FURNISHED TO THE OWNER UPON COMPLETION OF PROJECT WITH ANY TRAINING OF OWNERS PERSONNEL REQUIRED INCLUDED AS PART OF THE PROJECT.

ALL MECHANICAL AND ELECTRICAL INSTALLATIONS SHALL BE COORDINATED TO PREVENT ANY INTERFERENCES.

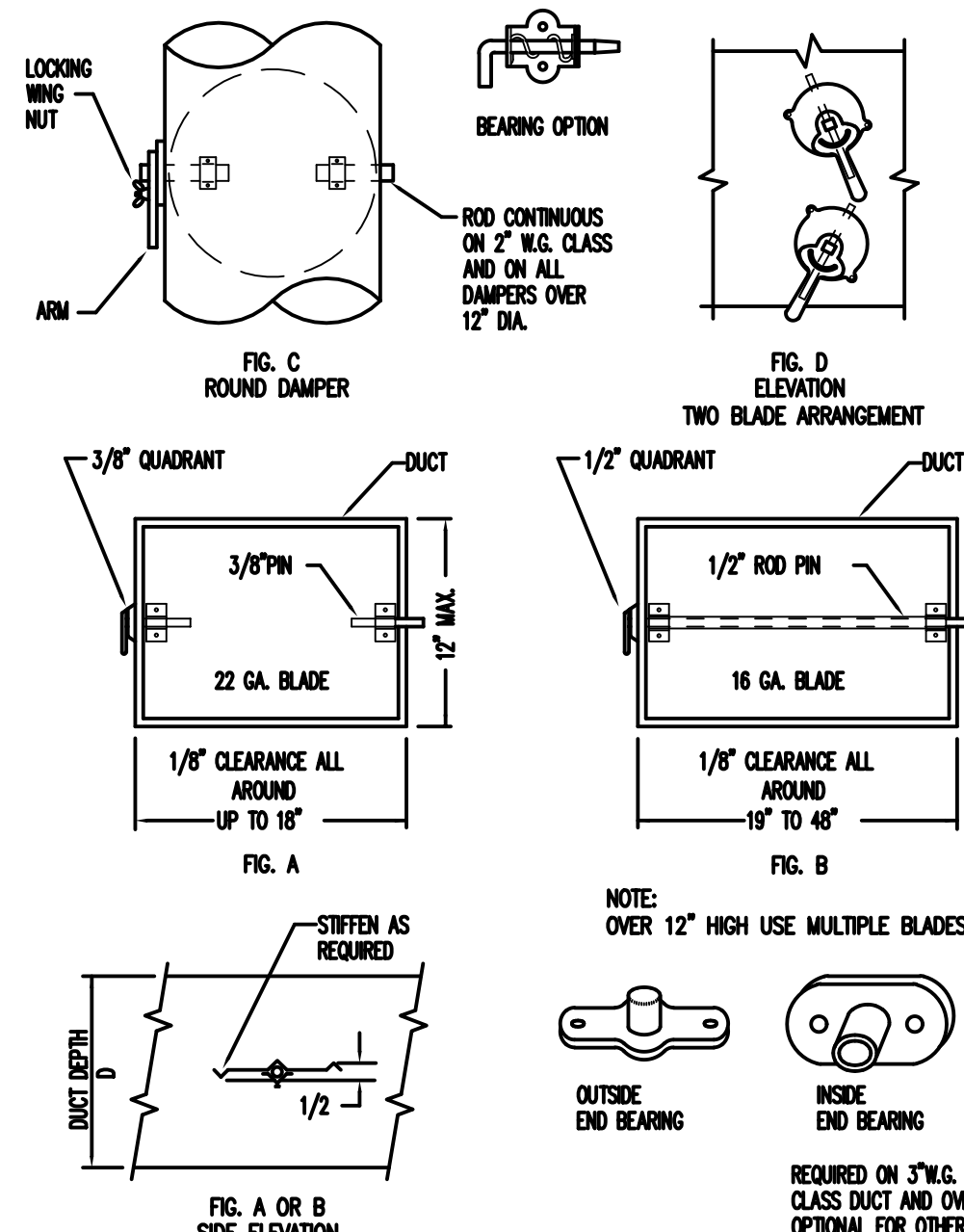
ALL CUTTING AND PATCHING OF MATERIALS REQUIRED FOR INSTALLATION OF NEW WORK SHALL BE PERFORMED BY CONTRACTOR AS REQUIRED FOR THEIR INSTALLATION.

ANY EXISTING PIPING, DUCTWORK, ELECTRICAL, STRUCTURAL INSTALLATION, ETC. DAMAGED BY NEW CUTTING, PATCHING OR INSTALLATION SHALL BE REPLACED TO ORIGINAL CONDITION BY CONTRACTOR. THIS SHALL INCLUDE ANY AND ALL SAW CUTTING OF CONCRETE FLOOR SLAB.

PERFORM ALL PATCHING OF CONCRETE WITH SIMILAR MATERIALS PER ARCHITECTS DIRECTIVE.

ALL EQUIPMENT FURNISHED SHALL BE AS SPECIFIED OR SCHEDULED AS TO MANUFACTURER, MODEL AND CAPACITIES. ANY SUBSTITUTIONS SHALL BE REQUESTED IN WRITING TO THE ARCHITECT.

ALL DUCT AND PIPE THERMAL INSULATION SHALL BE AS MANUFACTURED BY JOHN-MANSVILLE, CERTAINTED OR OWENS CORNING.



VOLUME DAMPERS - LOCK TYPE

NO SCALE

NM 03112021
NATURAL GAS DISTRIBUTION PIPING SHALL BE SCHEDULE 40 BLACK PIPE WITH 150# MALLEABLE IRON FITTINGS.

VALVES AND UNIONS

GAS COCKS SHALL BE INSTALLED AT ALL EQUIPMENT USING NATURAL GAS SUCH AS FURNACE, HOT WATER HEATER, KITCHEN RANGE AND CLOTHES DRYER.

METAL DUCTWORK, ACCESSORIES, GRILLES AND DIFFUSERS

ALL DUCTWORK SHALL BE CONSTRUCTED OF SHEET METAL OF GAUGE DICTATED IN THE LATEST PUBLISHED SMACNA MANUALS FOR INSTALLATION OF LOW AND MEDIUM PRESSURE DUCTWORK SYSTEMS.

ALL SQUARE ELBOWS INDICATED SHALL BE PROVIDED WITH TURNING VANES. DUCTWORK INSTALLATION SHALL COMPLY WITH NFPA 90A "STANDARD FOR THE INSTALLATION OF AIR CONDITIONING AND VENTILATING SYSTEMS".

ALL DUCTWORK SHALL BE HUNG FROM CONSTRUCTION USING STRAPS OR RODS CONFORMING TO TABLE 4.1 IN SMACNA HVAC DUCT CONSTRUCTIONS STANDARDS LATEST EDITION. USE ALL SHEET METAL SCREWS, BLIND RIVETS OR SELF-TAPPING METAL SCREWS COMPATIBLE WITH DUCT MATERIALS.

EXHAUST FLUE FROM HOT WATER HEATER SHALL BE STANDARD FLUE PIPE WITH ALL JOINTS SEALED GAS TIGHT.

PROVIDE RAIN CAP 3'-0" ABOVE EXISTING ROOF.

ALL RETURN AIR GRILLES AND SUPPLY AIR REGISTERS INDICATED SHALL BE BE EQUAL TO AS MANUFACTURED BY TUTTLE AND BAILEY OR APPROVED EQUAL FOR SIZES AND PATTERNS INDICATED ON THE DRAWINGS.

PROVIDE EACH GRILLE AND WITH OPB BALANCING DAMPER.

REGISTERS AND GRILLES EQUAL TO T70 W/OBD.

TESTING AND BALANCING AND TEMPERATURE CONTROLS

ENTIRE DUCTWORK SYSTEM SHALL BE BALANCED TO AIR FLOWS INDICATED ON THE DRAWINGS BY THE INSTALLING CONTRACTOR.

THERMOSTATS INDICATED TO BE FURNISHED AND INSTALLED AS PART OF THE HVAC UNITS SHALL BE INSTALLED AND TESTED BY THE HVAC CONTRACTOR. THEY SHALL BE STANDARD MODELS FURNISHED BY THE MANUFACTURER.

GENERAL VENTILATION NOTES

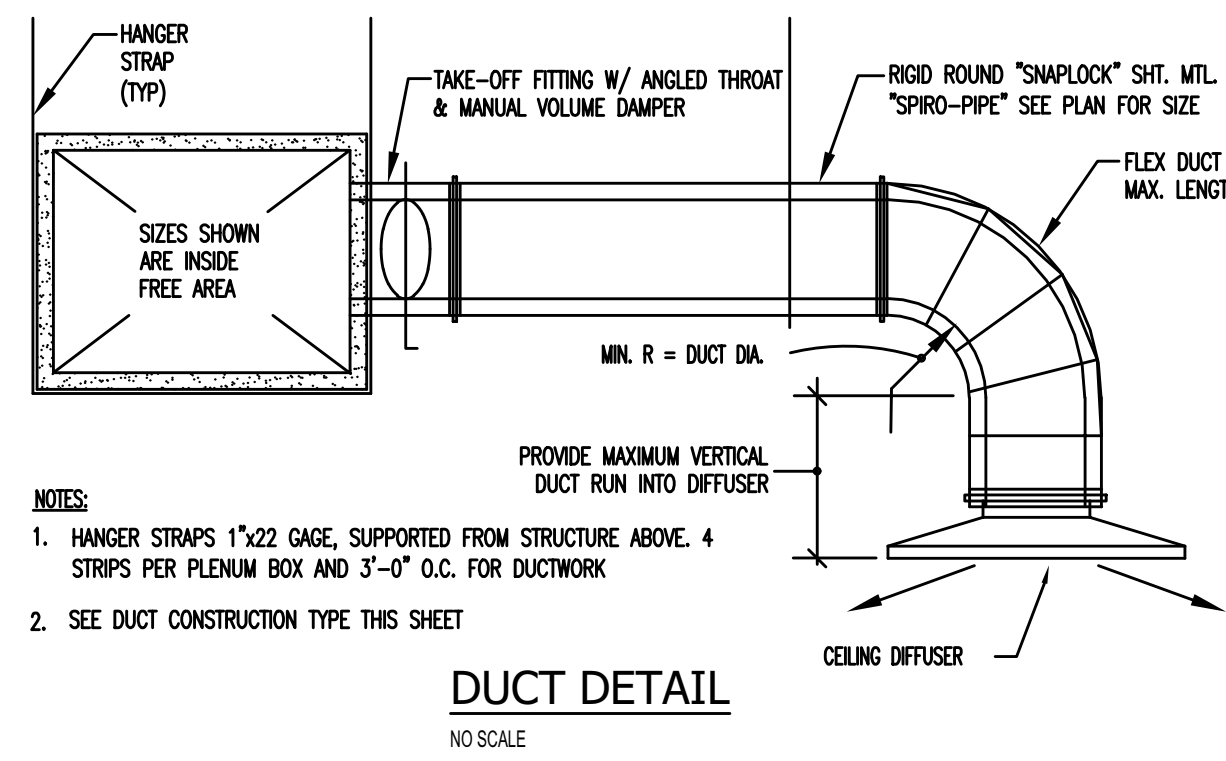
ALL DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED STEEL.

REGISTERS AND GRILLES BASED ON TUTTLE & BAILEY SERIES T-70. REGISTERS SHALL HAVE OPPOSED BLADE DAMPERS.

MAXIMUM NOISE LEVEL AT PROPERTY LINE 55 db.

ALL BRANCH RECTANGULAR DUCTWORK SHALL BE FURNISHED WITH SPLITTER TYPE DAMPERS WITH QUADRANT LOCKS.

ALL ROUND BRANCH DUCTWORK SHALL BE PROVIDED WITH SCREW-IN TAKE-OFFS WITH BUTTERFLY DAMPERS WITH QUADRANT LOCKS.



- NOTES:
- HANGER STRAPS 1"x22 GAGE, SUPPORTED FROM STRUCTURE ABOVE. 4 STRIPS PER PLENUM BOX AND 3'-0" O.C. FOR DUCTWORK.
 - SEE DUCT CONSTRUCTION TYPE THIS SHEET

CHICAGO REFRIGERATION TABLE

EQUIPMENT TAG	NUMBER OF COMPRESSORS	TONS	HP (PER COMPRESSOR)	TYPE OF REFRIGERANT	WEIGHT OF REFRIGERANT (LBS.)	REMOTE OR SELF CONTAINED	AIR COOLED OR WATER COOLED	LOCATION	QUANTITY
HVAC-1	1	2.5	2.5	R-410A	8.25	REMOTE	AIR COOLED	GRADE	1
HVAC-2	1	1.0	1.0	R-410A	4.6	REMOTE	AIR COOLED	GRADE	1
TOTAL	2	3.5	3.5		12.85				2

1. INSTALL PRESSURE RELIEF VALVE ON HIGH PRESSURE SIDE OF SYSTEM, UPSTREAM OF ANY INTERVENING VALVES.
2. REMOVE EXPANSION VALVES, DEVICES & CONNECTIONS FROM AIR STREAM.
3. REFRIGERATION PIPING TO BE TYPE "K" COPPER. TYPE ACR IS ACCEPTABLE UNLESS PRESSURE EXCEEDS RATED CAPACITY OF ACR TUBING.
4. ALL CONNECTIONS AND DEVICES TO BE BRAZED.
5. ARCHITECT TO PROVIDE PERMANENT ACCESS IF EQUIPMENT IS LOCATED HIGHER THAN 16'-0" ABOVE GRADE.
6. USE OF TYPE K COPPER PIPE AND FITTINGS SHALL MEET ANSI B31.5 STANDARDS.
7. REFRIGERANT PIPING MATERIALS MUST CONFORM TO 1107.4. MEANS OF JOINING PIPING MUST CONFORM TO 1107.5.

CHICAGO HEATING TABLE

BUILDING LOAD (MBH)	58.7
VENTILATION LOAD (MBH)	0.0
TOTAL HEATING LOAD (MBH)	58.7
HEATING SYSTEM OUTPUT CAPACITY (MBH)	70.7
HEATING SYSTEM EQUIPMENT INCLUDED IN THIS TABLE (MBH)	
HVAC-1	57
HVAC-2	13.7

CHICAGO BUILDING CODE VENTILATION SCHEDULE

ROOM NAME	ROOM PURPOSE	AREA (SQ.FT.)	ORDINANCE REQUIRED					ACTUAL PROVIDED					EQUIPMENT SERVING		REMARKS
			SUPPLY CFM	O.A. CFM	EXHAUST CFM	GLASS (SQ.FT.)	VENT (SQ.FT.)	SUPPLY CFM	O.A. CFM	EXHAUST CFM	GLASS (SQ.FT.)	VENT (SQ.FT.)	SUPPLY FAN	EXHAUST FAN	
LIVING RM/KITCHEN	LIVING QUARTERS	631	N.V.	N.R.	N.V.	50.48	25.24	455	N.V.	100	65	27.5	HVAC-1	HOOD	NOTE #1
1ST FLR BATHROOM	TOILET ROOM	23	N.V.	N.R.	N.V.	50	N.R.	N.V.	60	0	0	0	HVAC-1	TEF-1	RESIDENTIAL
MASTER BEDROOM	LIVING QUARTERS	159	N.V.	N.R.	N.V.	12.72	6.36	160	N.V.	N.V.	30	7.5	HVAC-1	N.V.	NOTE #1
BEDROOM 1	LIVING QUARTERS	100	N.V.	N.R.	N.V.	8.00	4.00	100	N.V.	N.V.	15	7.5	HVAC-1	N.V.	NOTE #1
BEDROOM 2	LIVING QUARTERS	135	N.V.	N.R.	N.V.	10.80	5.40	135	N.V.	N.V.	25	12.5	HVAC-1	N.V.	NOTE #1
MASTER BATHROOM	TOILET ROOM	50	N.R.	N.R.	75	N.R.	N.R.	50	N.V.	100	0	0	HVAC-1	TEF-2	RESIDENTIAL
2ND FLR BATHROOM	TOILET ROOM	50	N.R.	N.R.	75	N.R.	N.R.	50	N.V.	100	0	0	HVAC-1	TEF-2	RESIDENTIAL
LIVING RM/KITCHEN	LIVING QUARTERS	230	N.V.	N.R.	N.V.	18.40	9.20	150	N.V.	100	27	10.5	HVAC-2	HOOD	NOTE #1
BEDROOM 1	LIVING QUARTERS	102	N.V.	N.R.	N.V.	8.16	4.08	80	N.V.	N.V.	9	4.5	HVAC-2	N.V.	NOTE #1
BEDROOM 2	LIVING QUARTERS	150	N.V.	N.R.	N.V.	12.00	6.00	120	N.V.	N.V.	15	7.5	HVAC-2	N.V.	NOTE #1
BATHROOM	TOILET ROOM	46	N.R.	N.R.	69	N.R.	N.R.	50	N.V.	100	0	0	HVAC-2	TEF-2	RESIDENTIAL
TOTAL		1676	0	0	269	121	60	1400	0	560	186	78			N.R. = NOT REQUIRED N.V. = NATURAL VENTILATION

NOTES

1. NATURAL VENTILATION IS PROVIDED THROUGH WINDOWS. REFER TO ARCHITECTS PLANS AND SCHEDULES FOR WINDOW SIZES.
ARCHITECT SHALL PROVIDE ORDINANCE REQUIRED AND ACTUAL NATURAL LIGHT AND VENT INFORMATION

RENOVATION AND NEW ADDITION

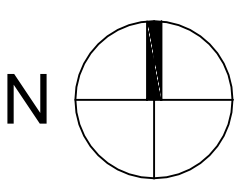
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1 ISSUED FOR PERMIT 01.14.2021

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MECHANICAL PLANS, NOTES

MO.1

CONNECT NEW 4" TO NEAREST EXISTING 4" SA. VERIFY LOCATION AND DEPTH OF CONNECTION POINTS. EXISTING SANITARY PIPING SHOWN IS THE ASSUMED LOCATION. PLUMBING CONTRACTOR SHALL INVESTIGATE EXISTING UNDERGROUND PLUMBING SYSTEM TO DETERMINE SHORTEST ROUTING FOR ALL NEW SANITARY TO BE CONNECTED TO EXISTING SYSTEM. PROVIDE SEWER EJECTOR IF REQUIRED

REFER TO RISER DIAGRAM FOR SIZING AND ROUTING OF PIPING

1-1/2" CW TO CONNECT TO NEW METER VAULT IN FRONT OF BUILDING. ADD BOOSTER PUMP

1" GAS TO EXIST. METER WITH GAS COCK AND UNION. NEW CONNECTED LOAD 150 MBH (LOCATION VIF)

3/4" GAS UP TO NEW FURNACE. PROVIDE GAS COCK AT RANGE. 50 CFH

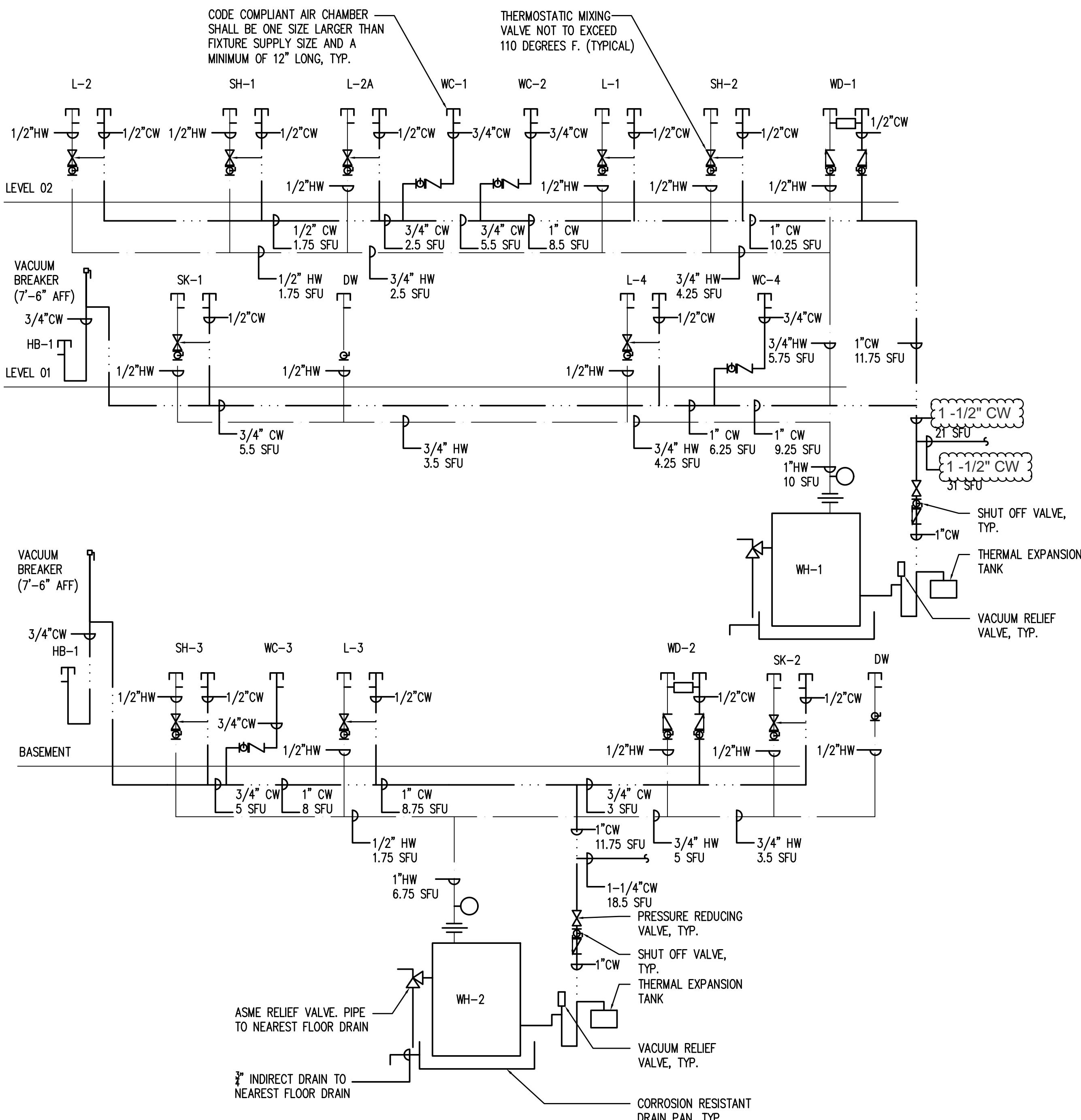
3/4" GAS UP TO RANGE. PROVIDE GAS COCK AT RANGE. 50 CFH

3/4" GAS UP TO NEW FURNACE. PROVIDE DIRT LEG, GAS COCK AND UNION. 100 CFH.

3 BASEMENT PLAN DN SC 1/4" = 1'-0"

2 1ST FLOOR PROPOSED PLAN SC 1/4" = 1'-0"

1 2ND FLOOR PROPOSED PLAN SC 1/4" = 1'-0"



CHICAGO PIPING MATERIALS	
WATER SERVICE PIPE PER TABLE 18-29-805.4	
WATER SERVICE PIPE SHALL CONFORM TO NSF 61 AND TO ONE OF THE STANDARDS LISTED IN TABLE 18-29-805.4. ALL WATER SERVICE PIPE OR TUBING, INSTALLED UNDERGROUND AND OUTSIDE OF THE STRUCTURE, SHALL HAVE A MINIMUM WORKING PRESSURE RATING OF 160 PSI (1100 KPA) AT 73.45°F (23.03°C), WHERE THE WATER PRESSURE EXCEEDS 160 PSI (1100 KPA). PIPING MATERIAL SHALL HAVE A MINIMUM RATED WORKING PRESSURE EQUAL TO THE HIGHEST AVAILABLE PRESSURE. ALL DUCTILE IRON WATER PIPE SHALL BE CEMENT MORTAR LINED IN ACCORDANCE WITH ANWA C104.	
COPPER OR COPPER - ALLOY TUBE (TYPE K)	ASTM B 75; ASTM B 88; ASTM B 251 ASTM 447 ANWA C151; ANWA C115
DUCTILE IRON WATER PIPE	
WATER DISTRIBUTION PIPE PER TABLE 18-29-805.5	
WATER DISTRIBUTION PIPE SHALL CONFORM TO NSF 61 AND SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 18-29-805.5. ALL HOT WATER DISTRIBUTION PIPE AND TUBING SHALL HAVE A MINIMUM PRESSURE RATING OF 100 PSI (690 KPA) AT 180°F (82°C).	
BRASS PIPE	ASTM B 43
COPPER OR COPPER - ALLOY PIPE	ASTM B 42; ASTM B 302
COPPER OR COPPER - ALLOY TUBE (TYPE K, L, OR M)	ASTM B 74; ASTM B 88; ASTM B 251; ASTM B 447 ASTM A 53
GALVANIZED STEEL PIPE	
ABOVE GROUND SANITARY/VENT PIPE PER TABLE 18-29-702.1	
ABOVE-GROUND SOIL, WASTE AND VENT PIPE SHALL CONFORM TO THE RESPECTIVE STANDARD LISTED IN TABLE 18-29-702.1. THE USE OF POLYVINYL CHLORIDE (PVC) PLASTIC PIPE SHALL BE LIMITED TO BUILDINGS FOUR STORIES OR LESS INTENDED FOR RESIDENTIAL OCCUPANCY. THE USE OF DWV COPPER TUBING SHALL NOT BE PERMITTED IN ANY STRUCTURE OR PLUMBING SYSTEM.	
BRASS PIPE	ASTM B 43
COPPER OR COPPER-ALLOY PIPE	ASTM B 42; ASTM B 302
COPPER OR COPPER-ALLOY TUBING (TYPE K, L, OR M)	ASTM B 75; ASTM B 88; ASTM B 251; ASTM B 306 ASTM A 53
GALVANIZED STEEL PIPE	
UNDERGROUND SANITARY/VENT PIPE PER TABLE 18-29-702.2	
CAST-IRON PIPE HUB & SPIGOT (PRIVATE PROPERTY ONLY)	
COPPER OR COPPER-ALLOY TUBING (TYPE K)	ASTM B 88; ASTM B 251 ANWA C151; ANWA C115
DUCTILE IRON PIPE	
SANITARY/VENT PIPE FITTINGS PER TABLE 18-29-702.4	
CAST-IRON PIPE HUB & SPIGOT	
COPPER OR COPPER ALLOY	ASTM B 16; ASTM B16.12; ASTM A 74; ASTM A 888; CSPI 301 ASTM B 16.15; ASTM B16.18; ASTM B16.22; ASTM B 88; ASTM B 251 ASTM B 16.23; ASTM B16.26; ASTM B16.29; ASTM B16.32 ANWA C110 (ABOVE GROUND ONLY) ASTM B16.3 ASTM B16.3; ASTM B16.11; ASTM B16.28 ANWA C151; ANWA C115
GRAY IRON AND DUCTILE IRON	
MALLEABLE IRON	
STEEL	
DUCTILE IRON PIPE	

PLUMBING FIXTURE SCHEDULE												
GENERAL				TOTAL NEW FIXTURE UNITS					PIPE SIZES			
TAG	FIXTURE TYPE	VALVE	REMARKS	QUANTITY	COLD	HOT	SFU	DFU	DRAIN	VENT	COLD	HOT
FD-1	NEW PRIVATE DISHWASHER	ASSE 1006 BACKFLOW PREVENTER	AIR GAP ON DRAIN	2		4	4		2"			1/2"
FD-1	NEW FLOOR DRAIN	ASSE 1018 TRAP SEAL PRIMER VALVE		1					3"	2"		
FD-2	NEW FLOOR DRAIN	ASSE 1018 TRAP SEAL PRIMER VALVE		1					6"	4"	2"	
HB-1	NEW HOSE BIBB	ASSE 1019 VACUUM BREAKER	VACUUM BREAKER TO BE MIN. 6" ABOVE DOWNSTREAM PIPING	2	8		8				3/4"	
L-1	NEW PRIVATE LAVATORY	ASSE 1017 INTEGRAL MIXING VALVE		1	0.75	0.75	1	1	2"	1-1/2"	1/2"	1/2"
L-2	NEW PRIVATE LAVATORY	ASSE 1017 INTEGRAL MIXING VALVE		1	0.75	0.75	1	1	2"	1-1/2"	1/2"	1/2"
L-2A	NEW PRIVATE LAVATORY	ASSE 1017 INTEGRAL MIXING VALVE		1	0.75	0.75	1	1	2"	1-1/2"	1/2"	1/2"
L-3	NEW PRIVATE LAVATORY	ASSE 1017 INTEGRAL MIXING VALVE		1	0.75	0.75	1	1	2"	1-1/2"	1/2"	1/2"
L-4	NEW PRIVATE LAVATORY	ASSE 1017 INTEGRAL MIXING VALVE		1	0.75	0.75	1	1	2"	1-1/2"	1/2"	1/2"
SH-1	NEW PRIVATE SHOWER	ASSE 1017 INTEGRAL MIXING VALVE	ASSE 1014 BACKFLOW FOR HANDHELD SHOWER	1	1	1	2	2	3"	2"	1/2"	1/2"
SH-2	NEW PRIVATE SHOWER	ASSE 1017 INTEGRAL MIXING VALVE	ASSE 1014 BACKFLOW FOR HANDHELD SHOWER	1	1	1	2	2	3"	2"	1/2"	1/2"
SH-3	NEW PRIVATE SHOWER	ASSE 1017 INTEGRAL MIXING VALVE	ASSE 1014 BACKFLOW FOR HANDHELD SHOWER	1	1	1	2	2	3"	2"	1/2"	1/2"
SK-1	NEW PRIVATE SINK	ASSE 1017 INTEGRAL MIXING VALVE		1	1.5	1.5	2	2	2"	1-1/2"	1/2"	1/2"
SK-2	NEW PRIVATE SINK	ASSE 1017 INTEGRAL MIXING VALVE		1	1.5	1.5	2	2	2"	1-1/2"	1/2"	1/2"
WC-1	NEW PRIVATE WATER CLOSET	ASSE 1002 ANTI-SIPHON FILL VALVE	FLUSH TANK	1	3		3	3	4"	3"	3/4"	
WC-2	NEW PRIVATE WATER CLOSET	ASSE 1002 ANTI-SIPHON FILL VALVE	FLUSH TANK	1	3		3	3	4"	3"	3/4"	
WC-3	NEW PRIVATE WATER CLOSET	ASSE 1002 ANTI-SIPHON FILL VALVE	FLUSH TANK	1	3		3	3	4"	3"	3/4"	
WC-4	NEW PRIVATE WATER CLOSET	ASSE 1002 ANTI-SIPHON FILL VALVE	FLUSH TANK	1	3		3	3	4"	3"	3/4"	
WD-1	NEW PRIVATE WASHER/DRYER	ASSE 1007 BACKFLOW PREVENTER		1	1.5	1.5	2	2	2"	2"	1/2"	1/2"
WD-2	NEW PRIVATE WASHER/DRYER	ASSE 1007 BACKFLOW PREVENTER		1	1.5	1.5	2	2	2"	2"	1/2"	1/2"
TOTAL				22	32.75	16.75	43	44				
MINIMUM RECOMMENDED PIPE SIZE					N/A	N/A	1-1/2"	4"				
1. INSTALL BACKING AND SUPPORTS AS REQUIRED FOR ALL FIXTURES AND ACCESSORIES.												
2. ALL FIXTURES SHALL MEET ADA AND LOCAL CODES												
3. SUPPLY PIPING AND FITTING FOR ALL FIXTURES SHALL BE INSTALLED SO AS TO PREVENT BACKFLOW												
4. ALL FIXTURES SHALL BE PROVIDED WITH ACCESSIBLE SHUT OFF VALVES AT COLD AND HOT WATER PIPING CONNECTIONS												
5. ALL SINKS, BATH , & SHOWER VALVES SHALL BE PROVIDED WITH APPROVED AUTOMATIC SAFETY WATER MIXING DEVICE AND PRESSURE BALANCE												
6. HOT WATER TO ALL LAVATORIES AND HAND SINKS SHALL NOT EXCEED 110 DEGREES.												
7. PROVIDE INSULATION FOR ALL PIPING IN EXTERIOR WALLS.												
SFU = SUPPLY FIXTURE UNITS												
DFU = DRAINAGE FIXTURE UNITS												

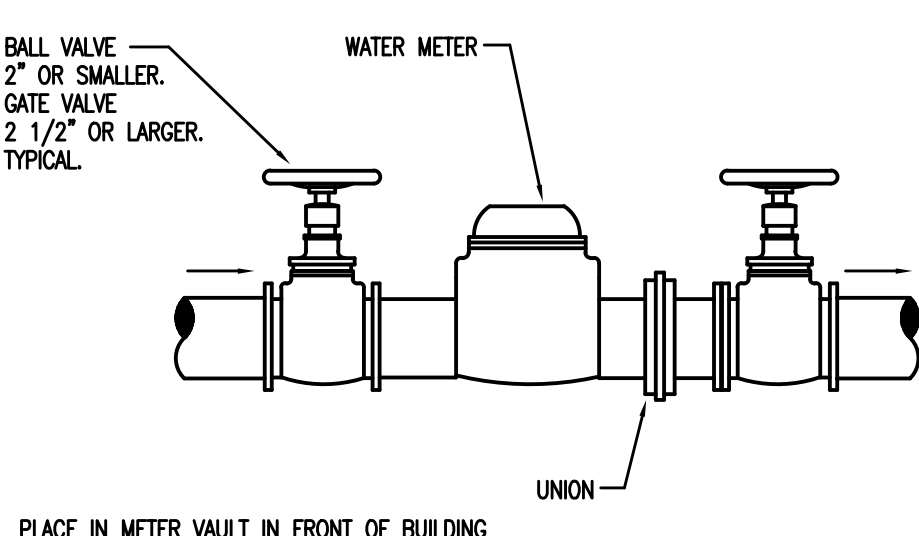
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WH-1 CALCULATIONS

EQUIPMENT	QUANTITY	DEMAND PER UNIT (GALLONS PER HOUR)	GALLONS PER HOUR
LAVATORY	1	2	2
PRIVATE KITCHEN SINK	1	4	4
SHOWER (1.5 GPM)	1	20	20
HIGH EFFICIENCY CLOTHES WASHER	1	30	30
DOMESTIC DISHWASHER	1	7	7
Total gallons per hour (GPH) recovery requirements (for 140 F)			63

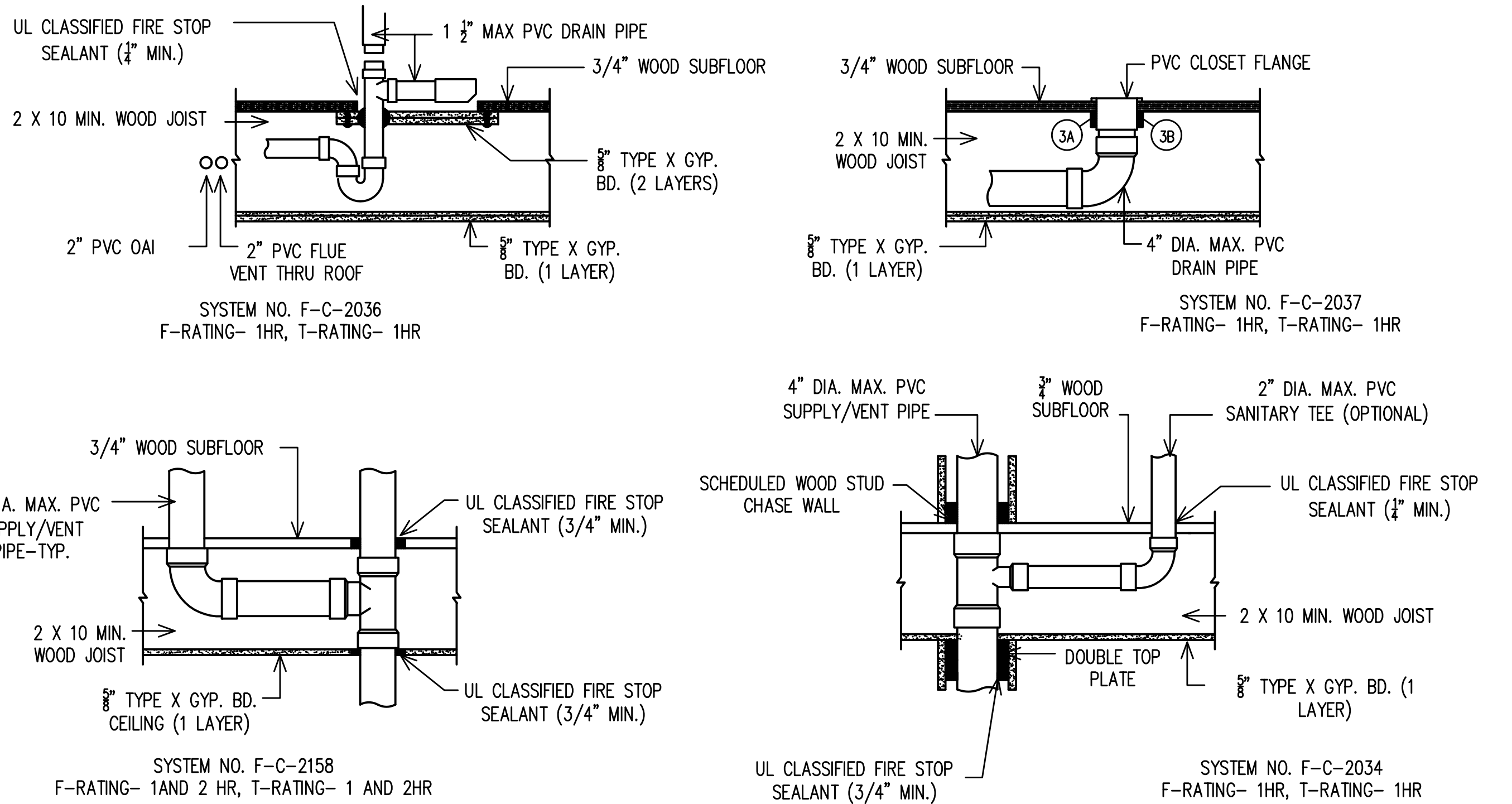
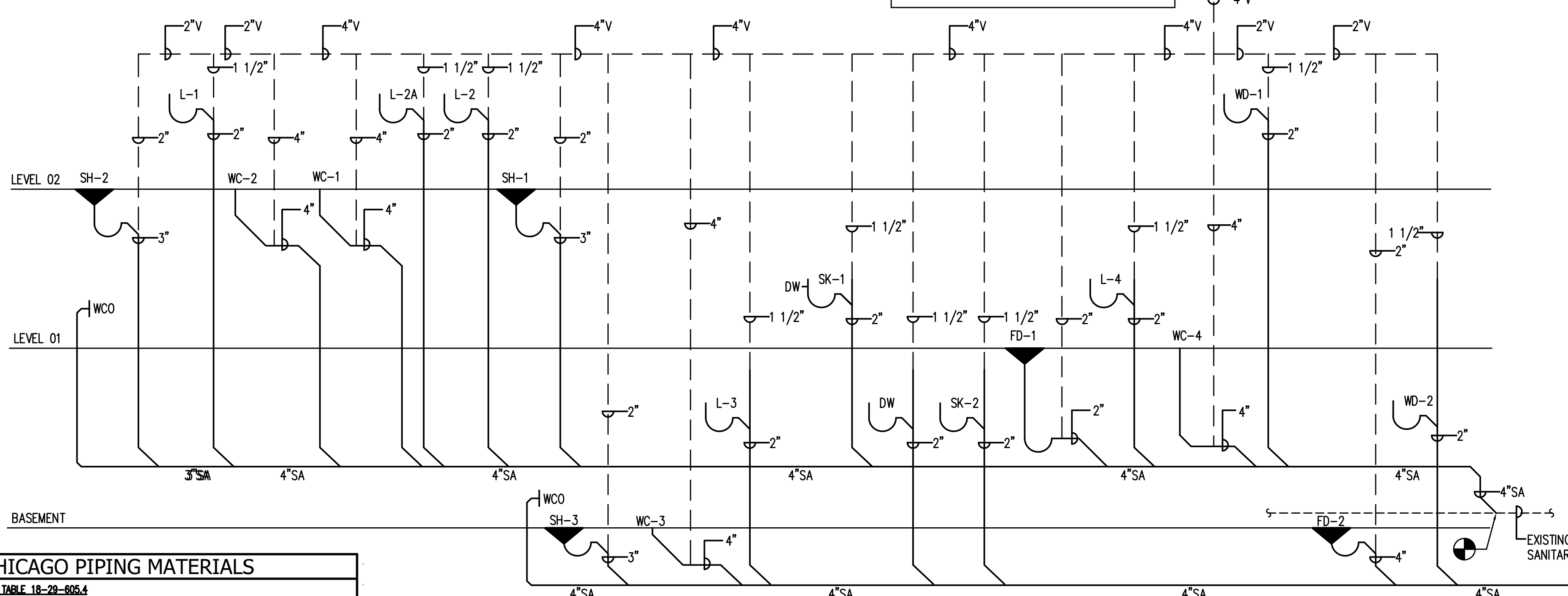
WH-2 CALCULATIONS

EQUIPMENT	QUANTITY	DEMAND PER UNIT (GALLONS PER HOUR)	GALLONS PER HOUR
LAVATORY	4	2	8
PRIVATE KITCHEN SINK	1	4	4
SHOWER (1.5 GPM)	2	20	40
HIGH EFFICIENCY CLOTHES WASHER	1	30	30
DOMESTIC DISHWASHER	1	7	7
Total gallons per hour (GPH) recovery requirements (for 140 F)			89



REUSE EXISTING ROOF DRAINAGE SYSTEM INCLUDING ALL ROOF DRAINS, SCUPPERS, STORM RISERS, ETC. REROUTE STORM PIPING ON FLOORS BELOW IF REQUIRED IN FIELD. CONTRACTOR SHALL VERIFY ALL ROOF DRAINS CONNECT OT CITY SEWER.

CONTRACTOR TO OFFSET WASTE, VENT & WATER DISTRIBUTION PIPING AS REQUIRED TO AVOID DUCTWORK AND STRUCTURAL MEMBERS; PROVIDE RELIEF VENTS FOR OFFSETS GREATER THAN 45'



RENOVATION AND NEW ADDITION

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